CITY OF YORKTON

REGULAR COUNCIL MEETING AGENDA

Monday, August 9, 2021 - 5:00 p.m.
Council Chambers, City Hall

1. **CALL TO ORDER**

2. **APPROVAL OF AGENDA**

3. **PUBLIC ACKNOWLEDGEMENTS**

4. **APPROVAL OF MINUTES**
   - Regular Council Meeting Minutes – July 19, 2021

5. **UNFINISHED BUSINESS**

6. **REPORTS OF COUNCIL COMMITTEES AND MATTERS REFERRED**

7. **HEARING OF PETITIONS, PUBLIC NOTICES AND PRESENTATIONS**
   - Core Real Estate – Presentation – Application for Exemption to the Noise Bylaw No. 21/99 for Movie in the Park

8. **BUSINESS ARISING OUT OF PETITIONS, PUBLIC NOTICES AND PRESENTATIONS**

9. **CORRESPONDENCE**

10. **BYLAWS**

11. **ADMINISTRATIVE REPORTS**
    - Manager of Capital Projects – 110 Broadway Street East - Demolition Tender Award
    - Land Use Planner - Discretionary Use - DU03-2021 Expansion of Existing Auto & Minor Recreation Sales & Rentals Use in C-1 City Centre Commercial Zoning District - 86 7th Ave. S – Public Notice Authorization

12. **GIVING NOTICE OF MOTION**

13. **IN CAMERA SESSION**
    - 1 Other Item

14. **ADJOURNMENT**

From: noreply@esolutionsgroup.ca
To: Raelyn Knudson
Subject: New Response Completed for Request to Appear Before Council Form
Date: Thursday, July 22, 2021 10:34:57 AM

Hello,

Please note the following response to Request to Appear Before Council Form has been submitted at Thursday July 22nd 2021 10:33 AM with reference number 2021-07-22-002.

- **First name:**
  Corey
- **Last Name:**
  Werner
- **Committee/Organization name:**
  Core Real Estate Inc
- **Address:**
  5 Third Ave
- **City:**
  Yorkton
- **Province:**
  Saskatchewan
- **Postal code:**
  S3N 1C1
- **Name:**
  Corey Werner
- **Title:**
  Mr.
- **Daytime phone number:**
  306-621-9680
- **Email:**
  cwerner@teamcore.ca
- **Date of request:**
  7/22/2021
- **Date of council meeting that the presenter is wishing to attend:**
  8/9/2021
- **Topic being presented:**
  Noise Bylaw exception
- **Description of request: (Clearly state what is being asked of Council. Provide detailed information about why the information is being presented and the importance to the community)**
  Request for exception to noise bylaw from 9:00 pm to 10:00 pm on Aug 18, 2021.

  Movie in the park to be finished by 10:00 pm Aug 18, 2021.
  Core Real Estate Inc is hosting family games and food for families in the Heritage Heights Park area at 7:00 pm on Aug 18, 2021. We would also love to host a movie for families in the area to come out and enjoy when it get a bit darker that same evening. Sunset is around 8:00 and movie would be started by 8:30 at latest. With this timeframe, movie and noise would end by 10:00 pm.
  This would be a time for families to come together and interact while still being able to social distance to comfort level.

[This is an automated email notification -- please do not respond]

City of Yorkton

REPORTS TO COUNCIL

TITLE: **110 Broadway Street East - Demolition Tender Award**	DATE OF MEETING: **August 9, 2021** REPORT DATE: August 5, 2021
CLEARANCES:	ATTACHMENTS: 1. Invitation to Tender – Sale of Tax Title Property 2. Tax Title Property 110 Broadway East Council Report – June 24, 2021 3. Invitation to Tender – Demolition
Presented by: Jeff Fawcett – Manager of Capital Projects Jeff Fawcett	
Reviewed by: Jessica Matsalla - City Clerk Jessica Matsalla	
Approved by: Rene Richard – Acting City Manager Rene Richard	

BACKGROUND

The City of Yorkton received the property at 110 Broadway Street East from Cornerstone Credit Union for taxes owing in the amount of $742,788.56 on March 25, 2021.

A full review of the property including structural, mechanical, electrical, hazardous materials and architectural code compliance, revealed that the approximately 50,000 sq. ft. structure is in a seriously neglected state and will require substantial investment to repair and/or upgrade.

On May 5, 2021, 110 Broadway Street East was offered out to Public Tender for Sale, for a three week period as is required by the *Tax Enforcement Act.* The tender included a $750,000 reserve bid and two options, which were to demolish the structure within six months or to repair/upgrade within six months.

There were no bids submitted for the purchase of the property by the tender closing date of May 26, 2021.

On June 28, 2021 Council authorized Administration to proceed with a Public Tender for demolition of all structures at 110 Broadway Street East and associated parcels and to placing all associated fees on the property taxes there after and then to place 110 Broadway Street East and associated parcels for sale and re-development.

DISCUSSION/ANALYSIS/IMPACT

On July 2, 2021, the Invitation to Tender for the demolition of 110 Broadway Street East formerly known as the Ramada Hotel was advertised on the City of Yorkton, Tenders site as well as SaskTenders for a tender period of two weeks and a closing date of July 16, 2021. This date was then extended to July 21, 2021 to allow for addendums to be reviewed. Eight (8) bids were received.

Under Section 4.2.1 of the Purchasing Policy, "an "Invitation to Tender (ITT)" describes a process where the City invites irrevocable bids to perform certain work, and where the solution, scope of work, and specifications are defined in detail in the ITT document. Contractors submit irrevocable bids stating the price at which they offer to perform the specified work, together with the other submittals required by the ITT.

An ITT typically requires that bidders provide bid bonds or equivalent bid security to support their bids."

A summary of the bids are as follows:

Bidder	Bid Amount (Excluding Taxes)
Silverado Demolition Inc.	$469,000.00
Pride Landscaping	$766,172.00
Total Demolition	$569,490.00
Adair's Demolition	$550,000.00
Winmar	$1,595,603.61
G.R. Poier & Sons Construction Ltd	$524,700.00
McColman & Sons	$699,918.00
D&M Trucking	$832,500.00

Seven (7) bids were complete, and the bid received from Silverado Demolition Inc. was deemed to be best value as it was the qualified bidder with the lowest submitted bid. who also satisfies all other requirements of the City.

FINANCIAL IMPLICATIONS

As stated in the June 28, 2021 report to council, the bid price does not include the City of Yorkton landfill fees and will be the City's responsibility.

COMMUNICATION PLAN / PUBLIC NOTICE

All bidders will receive a letter indicating who the successful bidder is. Also, the identity of the successful bidder along with the total bid amount will be posted on the City's website and Sask Tenders for a period of two (2) weeks.

OPTIONS

1. That Council direct Administration to award the tender for the demolition of the former Ramada Hotel, located at 110 Broadway Ave E, Yorkton, Sk., to Silverado Demolition Inc. for $ 469,000.00 plus applicable taxes, and further that the Mayor and City Clerk be authorized to execute said contract.

2. That Administration be provided with alternative direction.

RECOMMENDATION

1. That Council direct Administration to award the tender for the demolition of the former Ramada Hotel, located at 110 Broadway Ave E, Yorkton, Sk., to Silverado Demolition Inc. for $ 469,000.00 plus applicable taxes, and further that the Mayor and City Clerk be authorized to execute said contract.

Attachment 1

City of Yorkton

Box 400 · 37 Third Avenue North · Yorkton, Saskatchewan · S3N 2W3 · Phone 306-786-1700 · Fax 306-786-6880 · www.yorkton.ca

Invitation to Tender

Name of Tender: **Tax Title Property – 110 Broadway Street East**

Close Time/Date: **12:00 p.m. C.S.T. on Wednesday, May 26, 2021**

Response Address:

City of Yorkton
City Clerks Office, 2nd Floor
37 Third Avenue North
YORKTON, SK S3N 2W3

Details:

Tax Title Property – 110 Broadway Street East is to be sold on an "as is" basis. There are no warranties offered or implied on the condition of the property.

Tender documents are available at;
www.sasktenders.ca
www.yorkton.ca

Contact:

City of Yorkton
Manager of Capital Projects
Jeff Fawcett
306-786-1782
jfawcett@yorkton.ca

The City reserves the right to reject any or all tenders. Lowest tender is not necessarily accepted.

The City of Yorkton exclusively uses www.yorkton.ca and www.SaskTenders.ca to electronically advertise procurements. Other sites may not accurately represent the data as intended by the City of Yorkton, and are not vetted by the City of Yorkton.

Attachment 2

City of Yorkton

REPORTS TO COUNCIL

TITLE: **Tax Title Property – 110 Broadway Street East, Public Tender for sale**	DATE OF MEETING: **June 28, 2021** REPORT DATE: June 24, 2021
CLEARANCES: Jeff Fawcett – Manager of Capital Projects Jeff Fawcett	ATTACHMENTS: 1. Building Condition Assessment 2. Structural Condition Assessment 3. Mechanical Condition Assessment 4. Electrical Condition Assessment 5. Environmental Phase 1 6. Environmental Phase 2 7. RE/MAX Bridge City Proposal 8. Current Photos of Building
Presented by: Ashley Stradeski – Director of Finance	Ashley Stradeski
Reviewed by: Jessica Matsalla - City Clerk	Jessica Matsalla
Approved by: Lonnie Kaal - City Manager	Lonnie Kaal

BACKGROUND

The City of Yorkton received the property at 110 Broadway Street East from Cornerstone Credit Union for taxes owing in the amount of $742,788.56 on March 25, 2021.

DISCUSSION/ANALYSIS/IMPACT

On March 15, 2021 Council was advised that the City of Yorkton was to be taking 110 Broadway Street East, previously known as the Ramada Hotel, back from the Cornerstone Credit Union for outstanding taxes owing in the amount of $742,788.56.

Prior to the final decisions by The Cornerstone Credit Union to hand the property to the City, The Cornerstone Credit Union had advertised the property for sale and had auctioned all contents of the property prior to the transfer of ownership to the City of Yorkton

On March 25, 2021 the title for 110 Broadway Street East was transferred to the City of Yorkton.

Since March 23, 2021 The City of Yorkton has become responsible for all utility bills as well as daily property security inspections required to maintain a minimum level of required building insurance.

Currently the property is being monitored daily by City staff and as of the day this report was written, the building has been broken into 5 times.

On March 23, 2021, Administration proceeded with a full review of the property which was conducted by (consultant) Alton Tangedal Architect Ltd. to review structural, mechanical, electrical, hazardous materials and architectural code compliance.

This review was completed to determine the overall existing condition of the building and to what extent repairs or upgrades would be required to make the facility serviceable again as a hotel or similar business.

The investigation revealed that the approximately 50,000 sq. ft. structure is in a seriously neglected state and will require substantial investment to repair and/or upgrade in the estimated amount of $4,845,600 plus applicable taxes or a full demolition which, including the environmental costs, would be $450,000 + applicable taxes. This is based on the City of Yorkton waiving dumping fees.

On May 5, 2021, 110 Broadway Street East was offered out to Public Tender for Sale, for a three week period as is required by the *Tax Enforcement Act.* The tender included a $750,000 reserve bid and two options, which were to demolish the structure within six months or to repair/upgrade within six months.

There were no bids submitted for the purchase of the property by the tender closing date of May 26, 2021

On June 4, 2021 Management received a proposal from Remax Bridge City Realty, for an Exclusive in-house listing contract between the City of Yorkton and Re/MAX Bridge City Realty with a flat-rate fee payable to RE/MAX Bridge City Realty in the amount of $50,000 at possession date within the listing time period of 12 months.

In anticipation that a demolition of the building will take place by the City or a Purchaser and the extended timelines involved to have decommissioning completed, management has made application to SaskEnergy and SaskPower, which can be halted if an alternate direction is given.

FINANCIAL IMPLICATIONS

If the intent is to proceed with a 12 month listing with Remax Bridge City Realty, a financial consideration would be necessary for security and monitoring on an ongoing basis as well as heating and power required through the winter months.

A service contract for the ongoing water remediation issues in the basements of the structure will also require consideration as the water levels are rising rapidly. As of the week of June 14th, this building is having water seep in at a rate of over 4 inches a day. This will require pumping regularly, with use of a vac truck service at around $1000 / week.

If the intent is to move to demolition, a consultant will be required to oversee and monitor the demolition processes in conjunction with the Engineering Department for an anticipated fee of $17,000 plus applicable taxes

As stated earlier the estimated demolition cost is $450,000 + applicable taxes, based on the City of Yorkton waiving dumping fees.

COMMUNICATION PLAN / PUBLIC NOTICE

On May 5, 2021, 110 Broadway Street East was offered out to Public Tender for Sale, for a three week period as is required by *the Tax Enforcement Act.*

The tender included a $750,000 reserve bid and two options, which were to demolish the structure within six months or to repair/upgrade within six months.

There were no bids submitted for the purchase of the property by the tender closing date of May 26, 2021.

At this time, Administration would suggest to proceed with a Public Tender for demolition of all the structures at 110 Broadway Street East and associated parcels, after which time the empty property would be placed for sale and re-development. This will prevent the City from incurring substantial ongoing costs with relation to this property, while getting it out for redevelopment as quickly as possible.

OPTIONS

1. That Administration be authorized to proceed with a Public Tender for demolition of all structures at 110 Broadway Street East and associated parcels and to placing all associated fees on the property taxes there after and then to place 110 Broadway Street East and associated parcels for sale and re-development, and further bring back the results to a future Council meeting.

2. That Administration be provided with alternative direction.

RECOMMENDATION

1. That Administration be authorized to proceed with a Public Tender for demolition of all structures at 110 Broadway Street East and associated parcels and to placing all associated fees on the property taxes thereafter and then to place 110 Broadway Street East and associated parcels for sale and re-development, and further bring back the results to a future Council meeting.

Attachment 1

Alton Tangedal Architect Ltd.
Alton Tangedal M. Arch., SAA, MRAIC

Building Condition Assessment Report

Former Ramada Inn

110 Broadway Ave E.

Yorkton, Saskatchewan

April 28, 2021

Completed for the City of Yorkton

Introduction:

Alton Tangedal Architect Ltd. (ATAL) was engaged by the City of Yorkton (COY) thru Mr. Jeff Fawcett, Manager of Capital Projects to conduct a facility assessment of the former Ramada Inn located at 110 Broadway Ave. E. in Yorkton. The facility has recently been taken over by the City for Administrative reasons that have no direct bearing on this review. Mr. Fawcett asked the ATAL team to review the complete facility and advise on the physical condition and engineering systems status as well as possible environmental concerns. The attempt will be made to identify condition issues and concerns with out destructive methods at this time, so all items identified will be visible.

As part of the process ATAL engaged BBK Engineering to review structural, Mechanical Design Group to review Mechanical, ALFA Engineering to review Electrical, and Hydrosphere Technologies for Environmental/Hazmat review. Each group met on site with Mr. Fawcett on March 30, 2021 to do a walk-thru of the space and the exterior to gather information to formulate this report and recommendations. A follow up site review was done by Hydrosphere Technologies to confirm actual hazardous building material confirmation.

The report format will consist of a complete general assessment of systems throughout the facility and will include potential budgets for construction repairs and upgrades to make the facility serviceable again as a hotel or similar business. A general look at potential hazmat removal and demo costs will be considered in this report as well.

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Executive Summary

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1) **Code Evaluation**
2) **Roof Structures**
3) **Building Envelope**
4) **Interior Code Compliance**
5) **Interior Finishing**
6) **Basement Areas**
7) **Floor Systems**
8) **Conclusion**

Section B – Structural

Section C – Mechanical

Section D – Electrical

Section E – Environmental Phase 1 & 2

Section F – Executive Summary

Executive Summary

Overall, the hotel condition is fair to poor. Having been closed for the last year or so has resulted in significant damage and deterioration to the building which was already in very poor condition.

Remedial repair work is going to at a significant cost to bring the facility back to its prior or even usable condition.

Architectural and code issues will prove to be a large burden to the retrofit at close to $2 million.

Structural has some components mostly in the original building area and some around the pool that will require repair at a cost of $250,000.

Mechanical issues are very significant. Most of the equipment is outdated and well beyond its anticipated life span. To address the needs, it is anticipating that it will cost $1,250,000.

The Electrical service needs significant upgrade due to deterioration of the current facilities with an estimated cost of $388,000

Environmental has been a bit of a surprise although there are some hazardous materials that do exist multiple tests proved that there were limited amounts of material. Total expected for remediation is approximately $150,000.

Total anticipated for redevelopment including environmental will be $4,038,000. + applicable taxes

A recommended contingency of 20% is suggested given the review did not involve destructive testing and hidden issue may not be known, so and additional $807,600 + applicable taxes should be included.

Total anticipated cost of redevelopment will be $4,845,600 + applicable taxes

Full demolition is anticipated including the environmental cost noted above would be $450,000 + applicable taxes. This is base on the City of Yorkton waving dumping fees.

1) Code Evaluation

This hotel complex consists of an original frame facility with a basement that was about half of the building area. There were three major additions extending from 1967 to 1985. In 2004 an entrance canopy was building as a drive thru on the front of the hotel.

All additions after the original construction consist largely of concrete footing or piles, complete with concrete grade beams. The major wall structures inside and out were masonry with the exterior being block and brink while the interior was primarily concrete block and in some instances all concrete separating hotel rooms. However, some portions of the original building and some portions of the pool area roof have been constructed with combustible materials so the building cannot be classified as non-combustible.

The building is recorded as 4,647 sq metres or approximately 50,000 sq. ft.

The building would have been designed and built under several different versions of the National Building Code of the day but would unlikely meet the current code requirements. The following is a brief review of the 2015 NBC application to a Group C hotel facility. This complex also has the night club known as Holly's attached which will fall into a Group A, Division 2 classification. The hotel itself has restaurants, banquet halls, meeting rooms, and a swimming pool area that will simply be considered ancillary spaces for the purpose of this review.

The review is based on Part 3 of the National Building Code 2015:

Former Ramada Inn 110 Broadway E., Yorkton, Saskatchewan

Building Area 4,647 sq M (the Holly's space will be included for the purpose of this code review.

2) Roof Structures

While the roof structure of each addition varies from shingles, to asphalt and gravel roofing to torch applied products, they are all laid over wood truss system of various sorts. Most of the asphalt shingle systems are showing signs of major deterioration and failure. Some shingle areas are a little newer, but still appear to be at the end of their life expectancy as surface materials are failing and shingles are getting more brittle.

Other areas consisting of built-up asphalt roofing are well beyond their lifespan. You can see visible signs of ridging, thinning ballast, and exposed tar surfaces. Some areas are blistered and cracked suggesting total failure in immanent.

There is a small section of metal roof, but it would prove to be insignificant in preventing the major impact of water infiltration on the building.

Deterioration hasn't yet made a significant problem in the interior, but the time is coming when the entire build will start experiencing major water infiltration from the roof.

Complete roof replacement is anticipated to be around $1,000,000 assuming complete removal and replacement of materials and flashings as well as some deck repairs through out.

3) Building Envelope

The majority of the building exterior walls are constructed of masonry materials including concrete block and brick blended with cement-based stucco. The original building is in wood frame but has almost been surrounded by various additions. The surface of the building exteriors does seem to be in performing fairly well with the exception of the rear area where the original building was and a major failure of the concrete block structure around the pool duct work on the roof. The exterior would been to have some visual touch up and cosmetic repairs over the whole building.

An anticipated budget of $75,000 would be required to protect and protect the exterior from further deterioration.

4) **Interior code compliance**

With the codes having increased dramatically over the years this facility would require a major upgrade which could include the inclusion of fire protections sprinkler systems or increased wall ratings and building separations. A complete and through code analysis has not been done at this time, because the expected revisions to meet code would necessitate review and negotiation with the authority having jurisdiction, but it is anticipated that the implementation of a fire protection sprinkler system will be a top consideration.

The projected cost of $275,000 to complete the sprinkler system plus probably another $200,000 for removal and replacement of finishes would be required for a total of $475,000.

Other upgrades to doors and stairwells would be around $65,000.

5) **Interior refinishing**

The extent of any renovation would be dependant upon the final user and demands. On the main floor and second floor hotel rooms the finishes have been upgraded over time and are not terribly out of date. It is likely that a new hotel user would spend considerable amount of money on any upgrade to these areas. The pool space is solid, but the finishes are worn and could stand to be updated to provide more currently health care standard. The dining and banquet facilities are extremely outdated and a complete make over would likely be necessary.

The kitchen, and laundry facilities have had most of the equipment removed and would need to be replaced in their entirety to restart operations or create a code compliant space. This is anticipated to be worth about $350,000.

6) **Basement Areas**

There are two known basement area and some crawlspace. The first basement area would generally be located under the original hotel building below the kitchen and banquet hall areas. This area was in extremely poor condition with a great deal of standing water and moisture accumulation. There is sign of structural failure and new supporting posts under old wood floor joists. There is significance mould and moisture damage everywhere as well as signs of potential hazardous materials such as asbestos. The basement had housed offices and support/storage areas, but the current condition would not permit this use without major clean-up and upgrades.

There is a second basement on the extreme east end of the facility which houses some boiler and hot water equipment, some of which have been abandoned and replace with other equipment which is still in the same room. This area was in much better condition that the other basement but is currently full of some large unused equipment some of which may contain hazardous materials. The access from this room may not currently meet the building code requirements due to the amount of equipment obstructing egress. Post inspection visit by the environmental team found this area covered in water. No source has been confirmed.

7) Floor systems

The floor system on the upper floors are largely concrete core floor which provide a high-quality floor structure to these areas. Core floor and cast in place concrete on the main and second floors have preformed well and there are no concerns about their longevity for the future.

8) Conclusion

In conclusion the Architectural building systems and code issues would represent an expense of just under $2,000,000 to bring the building up to code and fit-up to meet the needed building requirements Architecturally.

The Structural, Mechanical, and electrical portion of the attached reports will identify specific issues with their respective systems and the expectations to rehabilitate and to maintain the building for future operation. Environmentally the report will identify the risk, but the City of Yorkton has requested further investigation into the building systems to confirm the full scope of hazardous materials to be removed. The results of that report are included in the attachments.

We welcome any questions or concerns that the reviewer may have.

April 13th, 2021

Alton Tangedal Architect Ltd.
1170 8th Avenue
Regina, SK | S4R 1C9

Attention: Alton Tangedal email: alton@atalarch.ca

RE: YORKTON HOTEL STRUCTURAL CONDITION ASSESSMENT
YORKTON, SK
FILE NO. 119560

Dear Alton,

Thank you for the opportunity to provide you with structural consulting services for the above noted project. As requested, BROWNLEE BEATON KREKE conducted a visual review of the subject building(s) on March 23, 2021. The purpose of this review was to provide a structural condition assessment of the building's structural and foundation systems. The main objective of our assessment is to visually confirm existing construction and materials, identify structural conditions and deficiencies of concern and provide general remedial recommendations deemed necessary to ensuring that the subject structural and foundation systems can perform as intended into the future. Present during our visual review was Alton Tangedal (Alton Tangedal Architects Ltd.), John Yannitsos (Mechanical Design Group), Tim Caswell (Alfa Engineering), Jeff Fawcett (City of Yorkton) and the undersigned.

It should be noted, the scope of our review does not permit the physical examination and confirmation of every structural component within the building. Effort has been made to verity the primary structural systems and conditions; however, engineering judgement has been used to fill in the gaps where necessary. Partial sets of existing drawings were made available for this review however much of the existing building structure is currently covered in architectural finishes and as such, was not visible in most locations at the time of our review. Within the basement, some of the perimeter foundation walls and underside of main floor were partially visible. Access to the building crawlspaces was not available at the time of this review. It should be noted, the scope of our review does not include structural analysis of the existing systems and is limited to a review of the existing conditions of the structural systems where accessible. As such, the results of this assessment are presented within the context of these limitations.

1.0 BACKGROUND & EXISTING CONSTRUCTION

To our knowledge, the existing building is comprised of a combination of building additions with the original building being constructed around 1967. To our knowledge approximately four separate additions (possibly more) have been constructed since the original building was erected. The below satellite image outlines the reviewed areas of the building.

Figure 1- Satellite Overview of Hotel Buildings

BUILDING #1- Original Hotel Block/Kitchen/Lounge/Ballroom (Approx. Construction: 1967)
Based on visual observations of this area of the building (No structural drawings available), we understand the structural systems for the original portion of the building are comprised of the following:

- Wood Framed Roof including wood sheathing over open web wood roof trusses.
- Wood framed load bearing interior and exterior walls
- Interior built up wood beams supported on adjustable steel columns.
- A portion of this area of the building is constructed over a basement and appears to be conventionally framed with intermediate wood framed load bearing walls complete with cast in place concrete exterior walls supporting the wood main floor joists.
- Although unknown, anticipate the remainder of the building was constructed over a crawlspace with similar conventional wood framed floor structures.
- Although unknown, we anticipate the building foundations are comprised of concrete strip footings below load bearing walls and concrete spread footings below column locations.

BUILDING #2- Two-Storey West Hotel Block (Approx. Construction Date:1969)
Based on the existing building drawings, we understand the structural systems for this area of the building are comprised of the following elements:

- Wood Framed Roof including wood sheathing over open web wood roof trusses.
- Second and Main floor structures are comprised of cast in place concrete slabs.

- Concrete Masonry Load Bearing Walls support the roof and floor structure around the perimeter and at interior corridor and suite devising walls.
- Foundations are comprised of cast in place concrete grade beams around the perimeter of the building which are founded on cast in place concrete piled foundations. Existing building drawings indicate the interior corridor and suite devising walls are founded on a cast in place concrete spread footing.

BUILDING #3- Two-Storey East Hotel Block/Waterslide Facility (Approx. Construction Date:1975)
Based on the existing building drawings and site observations, we understand the structural systems for this portion of the building are comprised of the following:

- The roof structure is comprised of pre-cast 8" hollow core slab panel construction.
- The main and second floor structures are comprised of pre-cast 8" hollow core slab panel construction.
- Load bearing concrete masonry block walls are used to support the roof and second floor structure throughout the building, complete with shear walls between the suites.
- Foundations are comprised of cast in place concrete grade beams throughout which are founded on cast in place concrete piles.
- The mechanical basement contains cast in place concrete foundation walls founded on concrete pile foundations.
- The pool basin is comprised of cast in place concrete walls and slabs founded on piled foundations.
- The pool apron is a cast in place structural slab supported over void and complete with interior supporting piles and concentrated reinforcing mats over the piles.
- The pool waterslide structure appears to be supported on steel frames/columns complete with steel outrigger beams.
- The upper waterslide and second floor pool access platform is comprised of wood framed construction complete with
- The pool roof structure is comprised of 4"x6" tongue and groove roof deck supported on large Glulam Girder Beams. The girder beams are supported on Concrete Block Pilasters at each end.
- Stairwells are comprised of structural cast in place concrete construction throughout.

BUILDING #4-Holly's Bar & Nightclub (Approx. Construction Date: Unknown)
As no structural drawings were available for this area of the building, identification of structural systems was conducted using site observations. Majority of the walls and floors were noted to be covered in architectural finishes at the time of this review. The observed/assumed systems are outlined below.

- Conventional steel framed roof structure including metal roof deck supported on open web steel roof joists that span the entire width of the building (east to west).
- Although unknown, the wall structure is anticipated to be comprised of concrete masonry block construction given the large depth of door casings and jambs in the exterior walls.
- The main floor structure appears to be comprised of a cast in place concrete slab supported on grade.
- Although unknown, we anticipate the foundations are comprised of concrete grade beams around the building perimeter which we anticipate are founded on deep concrete pile foundations.
- Grade on the east side of the building was noted to be much lower than the remainder of the building and as such, the grade beam this side of the building was deepened to provide retainment for the soil below the main floor.

2.0 OBSERVATIONS & DISCUSSION

The followings observations and discussion were noted during our visual review of the subject areas of the hotel building.

BUILDING #1 Original Center/South Hotel Block/Kitchen/Lounge

- The roof structure along the south side of this building appears to have been experiencing leaking for some time as multiple areas of the ceiling were noted to be deteriorating and at exposed areas rotting wood sections were noted on the existing trusses. Additionally, puddles of water were noted on the floor throughout multiple areas of the main floor. Buckets collecting water were also noted in multiple locations of opened sections of the ceiling.
- Multiple areas of the south wall structure were noted to be showing signs of deterioration which we believe is related to moisture infiltration through the building envelope.
- Vertical cracks were noted in multiple locations along the main corridors which we believe is likely related to differential foundation movement.
- The walk-in cooler roof panels were noted to be failing and the fan apparatus was noted to be coming loose and falling.
- From within the basement, multiple localized areas of the main floor structure were noted to be deteriorated due to moisture damage. These areas will need to be replaced to ensure safe floor performance.
- Most of the perimeter foundation walls in the basement were covered in finishes at the time of this review; however, much of the finishes covering the walls were noted to be showing signs of moisture damage, particularly near the base of the walls which we believe indicates moisture infiltration through the basement walls is likely occurring.
- Deeper extents of water were noted throughout multiple areas of the basement at the time of our review. The exact cause of the moisture is not known by the underwriter.
- Exposed sections of the foundation walls were noted to be in poor condition. The interior face of the walls appears to be deteriorating due to moisture infiltration and multiple foundation cracks/damage were noted.
- A newer basement access appears to have been cut into the north foundation wall of the basement. The lintel over the stairwell does not actually bear on the foundation wall at the ends meaning it is not properly supported. The side walls of the staircase appear to be moving differentially in relation to the north foundation wall. A gap of approximately ¾" was noted near the top of the wall.
- Multiple (Approximately two) interior load bearing walls near the north end of the basement appear to have been removed and not properly supported sometime in the past. Some form of a steel angle header and supporting posts appear to be installed; however, we do not believe the structure is adequate for the intended purpose. Reinforcement or replacement of the walls will need to be undertaken to ensure the floor structure can perform as originally intended.
- The structure around the kitchen, bar, dining room and banquet hall were covered in finishes at the time of this review and as such, could not be visually assessed. No signs of damage or deterioration were noted throughout these spaces at the time of this review.

In general, we believe this area of the building is in the worst structural condition and is beginning to show signs of its age and will require significant remediation to ensure the structural and foundation systems can perform as originally intended. We believe the following remedial scope of work will be required. It should be noted as finishes are removed; it is anticipated that additional areas of remedial scope may be required due to unseen conditions.

1. Remove basement wall finishes to repair existing foundation walls including crack repairs, deteriorated concrete repairs. It should be noted, reinforcement of the basement foundations walls may be necessary in some locations. We believe installing a new dimple drainage board

and interior weeping tile system should be considered to ensure protection from moisture infiltration in the future.

2. Install multiple sump pits and pumps throughout the basement to help control moisture below the basement slab.
3. Install a new steel lintel over the north basement access stairwell and repair brick as required.
4. Install new main floor and basement wall/beam structure at previously removed load bearing walls as required. New foundations will also be required at these locations.
5. We anticipate that localized areas of the roof and walls will need to be replaced due to experienced rot due to moisture infiltration.

BUILDING #2- Two-Storey West Hotel Block

The structural systems in this area of the building were covered in finishes and as such were not exposed or visible during our review. In general, there were not visual indications that would suggest underlying concerns with the foundations and superstructure noted in any of the reviewed locations. It is our understanding that this area of the building is constructed over a crawlspace. Access to the crawlspace below this area of the building was not available at the time of our review and as such, reviewing the conditions of the crawlspace and supported systems could not be undertaken under the scope of this assessment. In our experience with buildings of this age, crawlspace moisture control is a common recurring issue. As such, we believe it would be beneficial to review the crawlspace conditions to ensure there are no concerns related to excess moisture or deterioration of the supported systems. Based on our visual review of the accessible locations, we believe the superstructure and foundations in this area of the building are performing as originally intended.

BUILDING #3- Two-Storey East Hotel Block/Waterslide Facility

- The waterslide supporting steel structure is in very poor condition and experiencing significant corrosion in most locations. We believe replacement of the waterslide supporting structure is required.
- The second-floor wood framed platforms, stairs and landings are in very poor condition and are experiencing rot related to moisture exposure. We believe replacement of the subject wood members and mechanical room roof will be required.
- The pool basin is covered in a coating; however, there were no visual indications of underlying damage to the basin concrete noted during our review. We believe the pool coating will require replacement prior to re-use as it appears worn and aged.
- Excessive moisture related issues such peeling paints, mold growth within adjacent suite walls and steel corrosion appear to be apparent in and surrounding the pool area.
- The main wood and glulam roof structure appears to be performing as originally intended over the pool area.
- On the exterior near the air handling unit ductwork penetrations to the east of the pool area, significant damage to the exterior block was noted and visible from the ground elevation. It appears that the CMU construction at this location is failing and will require remediation.
- The foundation walls within the mechanical basement at the south side of the building were exposed and appeared to be performing as originally intended. A sump pit, containing water, was noted in the corner of the basement at the time of our review.
- The wall finishes within the suites adjacent to the waterslides were noted to be peeling off and signs of black mold growth were noted.
- Much of the remaining structural systems in this area of the building were covered in finishes at the time of this review and as such, could not be visually assessed. There were no visual indications that would suggest issues related to the remaining structural and foundation systems visually observed at the time of our review.

- It is our understanding that this area of the building is constructed over a partial crawlspace. Access to the crawlspace below this area of the building was not available at the time of our review and as such, reviewing the conditions of the crawlspace and supported systems could not be undertaken under the scope of this assessment. As outlined prior, we believe it would be beneficial to review the crawlspace conditions to ensure there are no concerns related to excess moisture or deterioration of the supported systems.

In general, we believe that the main structural and foundation systems supporting the suites portion of the building are performing satisfactorily and as originally intended. Much of our concerns regarding structure are concentrated around the pool area. We believe the following structural remediation scope is required if the owner wishes to operate the pool facility in the future.

1. Remove and replace the existing waterslide support structure.
2. Remove and replace all the existing wood framed platforms, stairs and landings serving the waterslide.
3. Remove the existing mechanical room roof structure due to wood deterioration.
4. Remove and replace the existing pool coatings.
5. Investigate the condition of the underlying structure in the wall surrounding the pool area to ensure there is no concerns related to damage caused by moisture/vapors.
6. Investigate any accessible areas of the crawlspace to ensure proper performance and protection of supported systems.
7. Repair damaged CMU exterior walls at air handler duct penetration near roof (to east of pool area).

BUILDING #4- Holly's Bar & Nightclub

- The exposed areas of the roof structure appear to be performing as intended with no visual signs of structural concerns.
- Walls were note exposed; however, there were no visual signs that would indicate concern related to the wall structure performance.
- The main floor slab was not exposed at the time of this review; however, there did not appear to be signs of significant movement or differential noted throughout the slab area.
- The wood framed mezzanine was not exposed at the time of this review and as such, could not visually assessed.
- Wood framed stages were only partially accessible underneath. Signs of moisture were noted below the accessible area of the stage. It is not known whether this is related to cleaning processes or moisture infiltration through the slab.

In general, we believe the structural systems of the Holly's Bar and Nightclub are good condition and performing satisfactorily and as originally intended. We recommend that review of the mezzanine structure be undertaken should the owner wish to re-use the structure in the future.

3.0 CONCLUSIONS

As requested, the undersigned performed a visual structural condition assessment of the subject hotel building(s) on March 23rd, 2021. The main objective of our review was to visually confirm existing construction and materials, identify structural conditions and deficiencies of concern and provide general remedial recommendations deemed necessary to ensuring that the subject structural and foundation systems can perform as intended into the future.

Based on the results of our assessment, we believe most of the structural and foundation systems reviewed under the scope of this assessment are performing reasonably well except for a few concentrated areas outlined below.

Much of our concerns related of the building structure and foundations are concentrated around the south block of the hotel which houses the kitchen, dining hall, bar, and banquet hall. Considerable moisture damage and wet wall/floor surfaces were noted during our review and we believe that considerable remediation of the rotted and deteriorated areas will be required to maintain the integrity of the affected systems which include both the roof and main floor structures. Additionally, we believe the existing basement foundations are in poor condition and will also require considerable remediation to maintain the foundation integrity and protect the interior of the basement from excessive moisture infiltration in the future.

The other main area of structural concern is concentrated around the pool area. We believe that the existing waterslide support structure and access platforms/stairs need to be replaced given their existing deteriorating conditions. Additionally, we believe that to re-use the pool basins, replacement of the pool coating will be required in order to protect the integrity of the basin concrete. Lastly, given the significant presence of mold and moisture damage in the walls surrounding the pool area, we believe that review of the supporting wall systems should reviewed to ensure damage related to moisture/vapor infiltration is not present.

As noted, prior, there was no access to the crawlspaces below much of the building. We believe it would be beneficial to gain access to these spaces to confirm their condition.

I trust that this is satisfactory for your needs at this time; however, if you have any questions please do not hesitate to contact the undersigned.

Yours truly,

BROWNLEE BEATON KREKE
(Regina) Ltd.

Tyler Frank, P.Eng.

Attachments: 1. Site Photos

SITE PHOTOS

Photo 1- Foundation Wall Deterioration/Moisture Infiltration

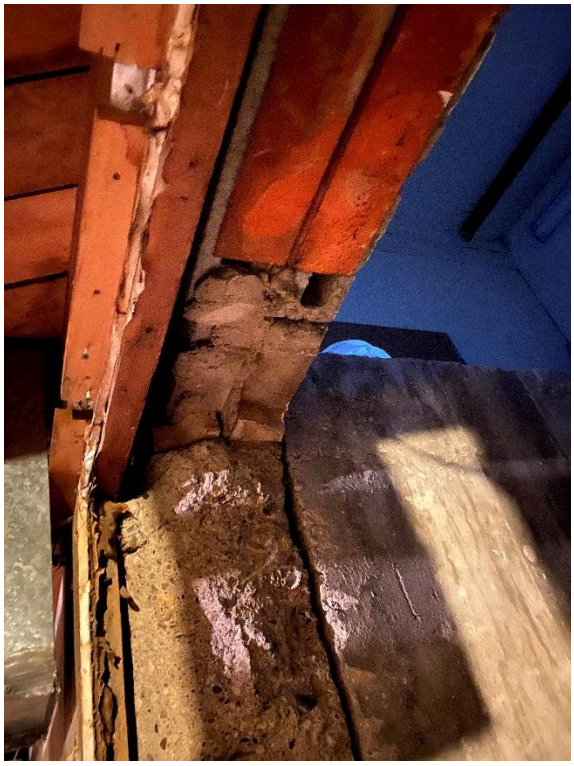

Photo 2- North Wall Lintel Not Properly Bearing on Foundation

Photo 3- North Stair Foundation Differentially Moving from Basement Foundation

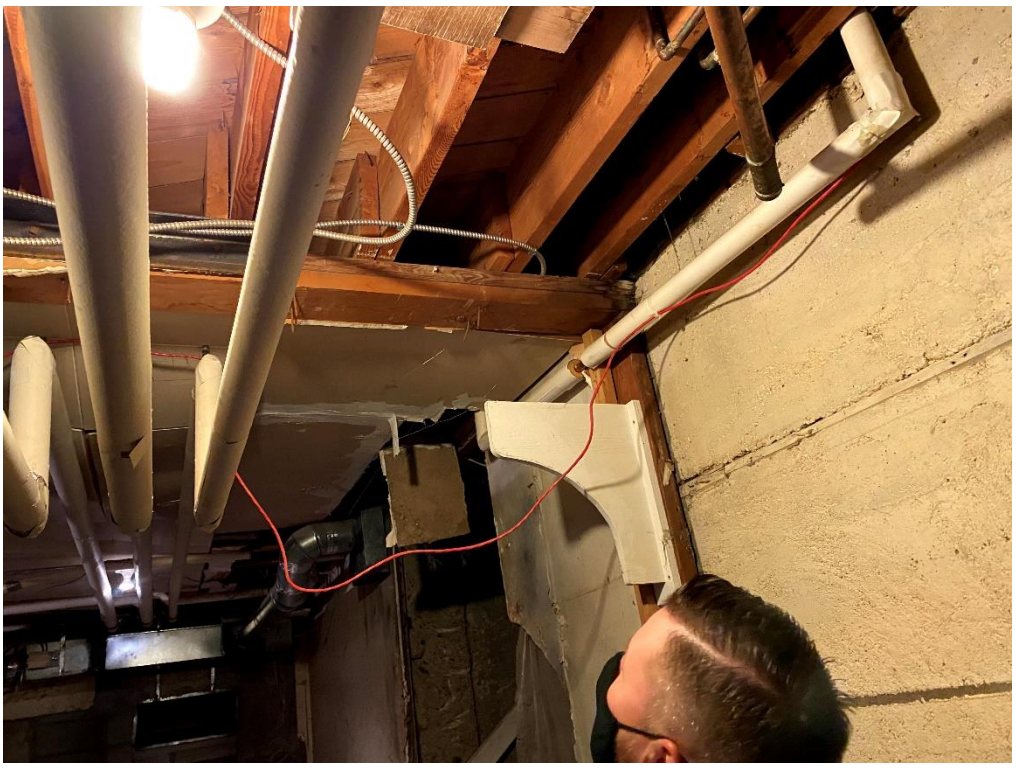

Photo 4- Basement Load Bearing Walls Removed

Photo 5- Support Post Below Old Bearing Wall Location

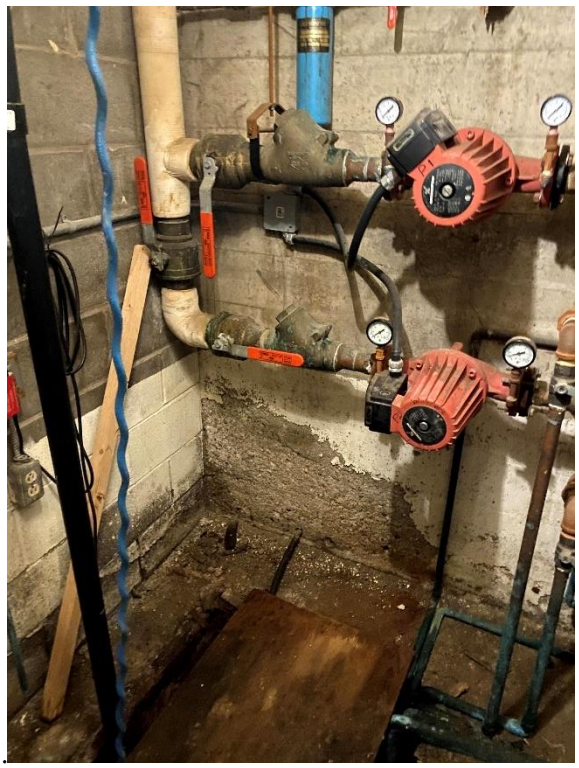

Photo 6- Moisture Infiltration Evident Near Base of Foundation Walls

Photo 7- Deteriorating Foundation Wall Condition, Moisture Infiltration

Photo 8- Signs of Moisture Damage Present in Main Floor Structure

Photo 9- Signs of Moisture Damage at Base of Foundation Walls

Photo 10- Deteriorated Slide Supports

Photo 11- Deteriorated Slide Supports/Pool Basin

Photo 12- Severely Corroded Waterslide Column

Photo 13- Severely deteriorated pool mechanical roof

Photo 14- Severely deteriorated Wood platform and landing framing

Photo 15- Severely deteriorated pool stair framing

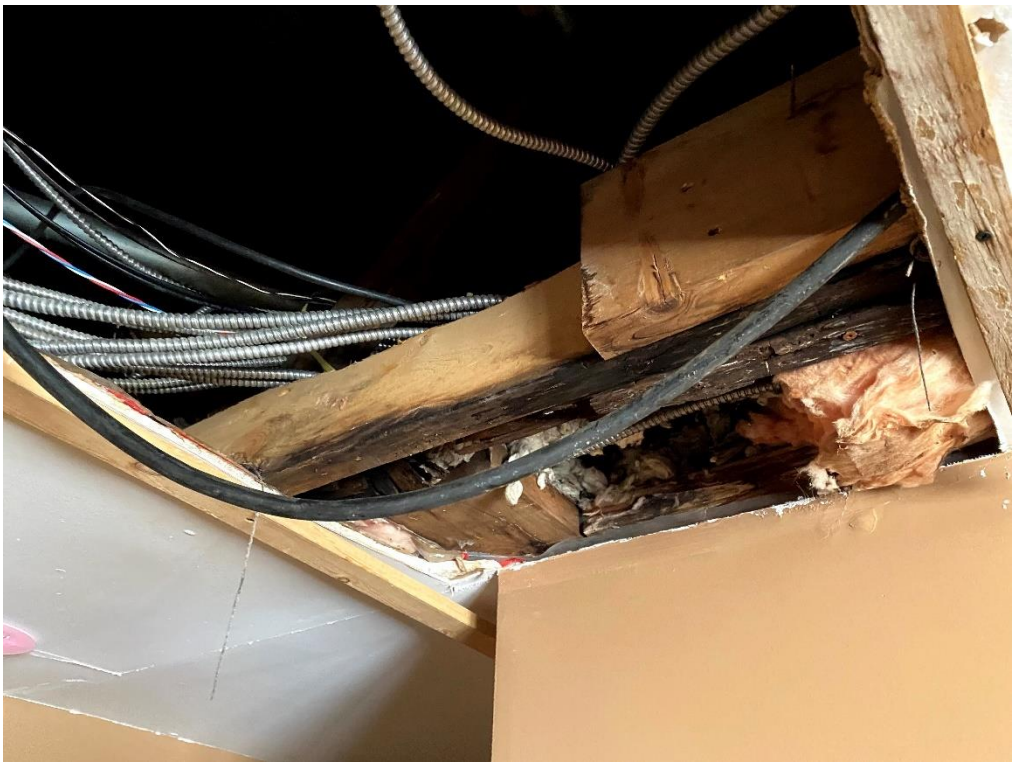

Photo 16- Rotted Roof Structure at South Side Roof

Photo 17- Water Infiltration Evident on Main floor of Building #1

Photo 18- Deteriorated Wall Structure (Building #1)

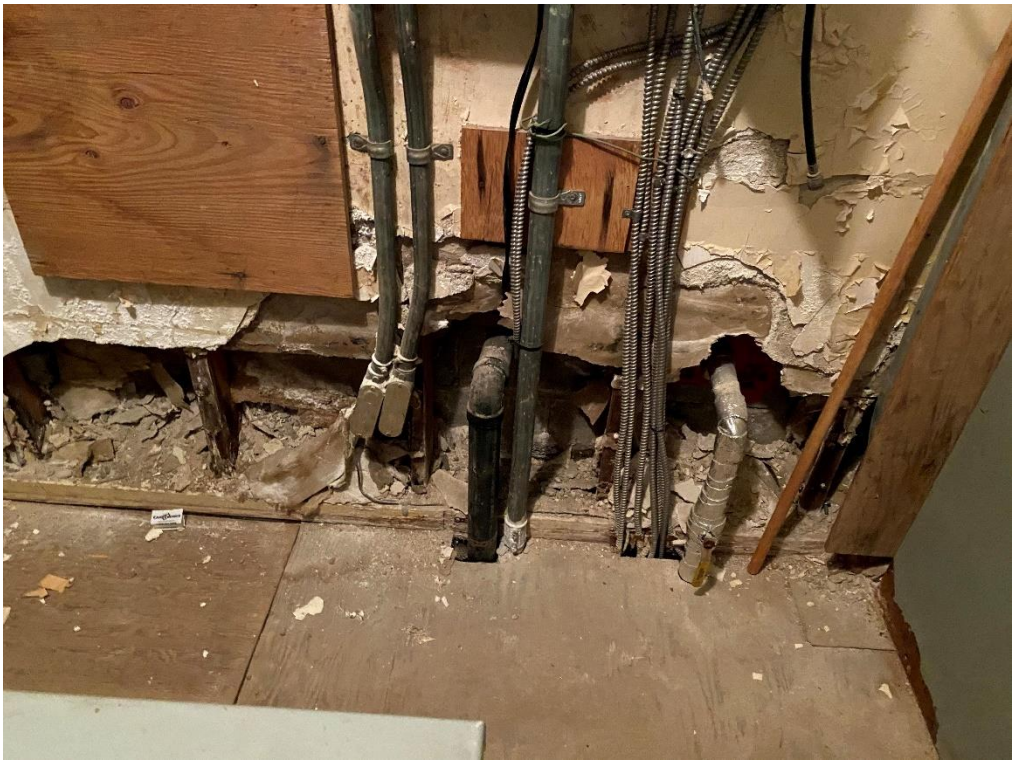

Photo 19- Deteriorated Wall Structure (Building #1)

Photo 20- Mold Growth Adjacent to Pool

Photo 21- Failing Wall Structure at AHU Penetrations

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Attachment 3

MECHANICAL
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April 8, 2021
File: 20-086

Alton Tangedal
Alton Tangedal Architect Ltd.
100-1170 8th Avenue
Regina, SK
S4R 1C9

RE: Ramada Hotel - 100 Broadway St E, Yorkton, SK – Mechanical Condition Assessment Report

Alton,

Further to your request for us to conduct a mechanical condition assessment on the existing mechanical systems installed in the Ramada Hotel building located at 100 Broadway St E in Yorkton, SK. We were to attend to site, perform an as found site review of the mechanical systems and provide our comments, concerns, and recommendations of the condition of the mechanical systems and their reuse for a hotel or other occupancy. The city of Yorkton are the current owners of the hotel and land and are concerned for the condition of the mechanical as the hotel has been closed for more than a year and the mechanical systems were not maintained other than some heating systems since the closure. They are concerned about the current condition of the mechanical systems and their cost to repair or replace if they were to consider selling the building to a potential buyer and would want an operational building. We attended to site on Tuesday March 23, 2021 and completed our as found review. Following are our observations, comments, and recommendations.

1. Background Information,

The Ramada Hotel building is a two story masonry and wood framed building that was built sometime in 1985. The building is approximately 50,000 ft^2 and was originally constructed as a hotel and banquet hall occupancy. There were possibly up to 4 major additions onto the original building including a pool room, additional rooms, and a dance hall building. The original building was constructed with exterior walls of stucco, wood sheeting, and finished on the interior with drywall. We assume there is some insulation in the exterior wall assembly but we cannot confirm the amount. The flooring is wooden joists with plywood sheeting on top with a combination of masonry block walls or drywall. The interior walls are also a

combination of wood framing with drywall. The roof is most likely wood framed roof joists with wood sheeting topped with asphalt torched on membrane with drywall on the underside. The additions are however comprised of cast in place concrete beams and columns with precast concrete flooring and wood framed roof joist with asphalt torched on membrane with drywall on the underside.

The mechanical systems are comprised of coper and cast iron plumbing systems, gas fired hot water heaters and storage tanks with hot water heating boilers with distribution piping and radiation cabinets for heating of the original building, and electric heating or forced air gas heating roof top units for the additions. Entrances are heated by electric force flow heaters. The guest rooms are all cooled by wall mounted PTAC units, and corridors, restaurant, banquet, and lounge areas are served from roof mounted air handling units with integral DX electric cooling systems. There are no fire protection sprinkler systems installed but there are fireman hose and standpipe stations and fire extinguishers installed throughout the building. Most of these systems however were turned off and only the electric heaters were in operation during the time of our review.

2. Observations and Comments,

Our observations of the mechanical systems were mostly external observations as all systems were tuned off, and we did not attempt to energize them. Only the electric heaters in some areas and guest rooms were operational as the city gave instructions to staff to minimize operational costs as much as possible. The basement portion that is located in the original building had several inches of standing water on the floor with over half of the basement area and other areas had some roof leaks and other envelope issues were also present that were reflective of a lack of heat in a building over a winter period.

1. Plumbing Systems

   The plumbing systems are mostly comprised of copper domestic water piping and cast iron sanitary piping. There are several incoming water services to the building as they are all installed with the original addition or additions as they were constructed. But it appears that there is only one sanitary service connection for the entire building. This service is from the original building and must have been extended into the additions as they were instructed. But the piping systems were showing many signs of leaks and repairs with other materials, especially in the original building portion. There were several sanitary pipes repaired with PVC piping jointed together with mechanical joint couplers onto old piping. Plumbing fixtures would also most

lilley need extensive refurbishment or replacement to not have them leak when water is turned on. The domestic water heaters are located in several mechanical rooms located in the building. Some water heaters are old and appear to be beyond their life expectancy and the others that are not do not appear to be in good operational condition. Sanitary pipes exposed in the basement are showing signs of leaks at joints that would be typical of their age.

The pool system has ABS piping systems installed but are showing signs of operational effects. Piping appears to be in somewhat good shape but does appear that joints have residual salt residue that can either be caused by condensation on the outside of the pipe or from the joint leaking. The pool boiler also has the outer jacketing removed which might be an indication that the boiler was being serviced continuously and the service contractor left the covers off to speed up service visits. The boiler is a high efficient unit that appears to be fairly new, but not being in operation with water left inside may have now resulted in issues with the heat exchanger. The hot tub and pool basins all appear to have proper code required drain assemblies, skimmers, and jets as required by code, but their condition and operational capacities are unknown.

2. Heating Systems

The heating systems is provided from a combination of gas fired hot water heating boiler system, gas fired roof top units, and electric heating devices. The hot water boiler heating system is installed in the original building and has heating distribution piping that extends in the basement and up to radiation cabinets located along the inside perimeter of the exterior wall. The boiler is a mid-efficient multi stacked boiler unit that has separate combustion sections and can operate independently but still is connected to the same piping that serves the building. The boiler appears to be beyond its life expectancy, but the pumps and peripheral components appear to be different ages and may be operational. The roof top units that provide heating are mostly serving the large banquet rooms, nigh club, lounge areas or pool areas. There is also a large make-up air unit that serves the pool area and another that serves the corridors. But these units appear to also be beyond their life expectancy. Finally the electric heaters are mostly the individual room perimeter terminal air conditioners or PTAC units. These all electric units have electric heating coils that provide heat for the individual rooms. The entrances also have electric force flow units that are mostly operational and can still provide heat if necessary.

3. Fire Protection Systems

   The fire protection system is comprised of fire extinguishers and fire hose cabinets. There are no fire protection sprinklers installed in the building and fire hose cabinets are all connected to the domestic water piping that extends throughout the building. This would have been acceptable when the building was first constructed. The fire hose cabinets appear to have hoses that are in good condition but fire hoses would need to be properly inspected and hydro tested to confirm that they are not rotted on the inside of the hose. Fire extinguishers do appear to be properly spaced and located at accessible points in the building. The few extinguishers we checked did have their certifications tags up to date but they are soon to expire and would need to be recertified if the building is to be occupied.

4. Ventilation & cooling Systems

   The ventilation systems are mostly provided by the roof mounted air handling units that serve the large banquet rooms, nigh club, lounge areas and pool areas. But individual guest rooms are served from the wall mounted PTAC units. These units not only cool the room air, they also provide a small amount of outside air into the room for ventilation that is then exhausted out from the room by the washroom exhaust fan unit. The various roof top units that serve the large banquet rooms, nigh club, lounge areas and pool areas all have cooling systems that can cool the room air even with full occupied guests in them and also provide the required ventilation air. But these roof top units do appear to be older units, and we are not sure if they have fully operational cooling systems or if there are even operational as we were not able to access the roof and review the individual units.

3. Opinions and Recommendations,

Our first opinions are for the plumbing systems. They do appear to be original to the building and there already have been several repairs made to the piping systems. The domestic water heaters appear to be close to, if not past, their life expectancy. Plumbing fixture would most likely require extensive refurbishment or replacement to allow the units to operate without leaking. Having the building heating systems turned off, with limited heating during the winter months, may have damaged these pipe systems and we would be surprised if there is not any serious issues with piping if there were pressure applied to the pipes or equipment. Replacing this piping may be impractical and costly due to the finishes that would be needed to be demolished and rebuilt for the piping to be installed. Our

recommendation for the piping systems would be to pressure test the system before any significant decisions on renovations are made to ascertain the pipe condition and sections of piping that would need to be replaced to allow renovations to be made cost effectively. But we consider the plumbing system at its expected life cycle and full replacement should be considered.

Our opinion for the pool systems is that they appear to be at or near their life cycle expectancy. Having the building shut-down for the year most likely has caused issued with the pumps, valves, and gaskets that make up the piping and distribution system. while some fo the components might be able to be reused we would consider full replacement the only reasonable solution to the pool system.

Our next opinions are for the heating systems. We would consider the heating system obsolete and beyond repair. Boilers are obsolete mid efficient units and most likely the piping systems are also at or beyond their life expectancy. We would therefore recommend that the heating boilers be removed and not replaced. To install new heating piping in the building would most likely not be cost effective and the money could be placed into replacing the roof top units that could provide heating for the large rooms and corridors. The individual PTACs installed in each guest room could be maintained and defective units could be replaced with new units. These units are a low cost and very effective way to provide space comfort control to each guest room.

Our opinion of the fire protection system is that the existing fire protection hose reals could be considered for removal and supply piping could be removed and capped when the domestic water piping is being replaced. This would need to be undertaken only after a complete code analysis is undertaken that can confirm that the fire hose cabinets are not required under current building and fire codes. If however they are found to be needed, then the entire system should be considered for replacement. All fire extinguishers will also need to be recertified to place the units into proper condition for occupancy.

Finally, our last opinion is for the ventilation and cooling systems. Again the individual PTAC units installed in each guest room could be maintained and defective units could be replaced with new units. These units would continue to provide the ventilation and cooling for each room and are a low cost and very effective way to provide space comfort control to each guest room. But the PTAC units and the building's roof top units conditions are suspect and we are concerned that most of them would need to be repaired or replaced with new units. But not replacing the boiler unit would mean that these units may be the only heat source in some of the major occupied areas of the building and would need to be closely

inspected and maintenance to reduce the risk of unit failure that would not provide space comfort control or ventilation air as needed by code. Our recommendation is that a complete replacement of the HVAC systems be considered due to the age and lack of maintenance conducted to the systems.

To consider replacement of the plumbing, pool equipment, fire protection, and building HVAC systems, our opinion of probable cost to repair, retrofit, or replace the mechanical at over $1,250,000.00 plus applicable taxes and associated architectural, electrical, and structural related costs.

4. Conclusion

In conclusion, we have concerns that all of the mechanical systems are near or beyond their expected life expectancy and having the heating systems mostly turned off over the winter may have made their conditions worse. To be able to re-occupy the building as a hotel we assume there would need to be major renovations and replacement of the mechanical systems before reopening. For the plumbing systems we assume a majority of the domestic water and sanitary piping may need to be replaced along with the pool equipment and piping. For the heating systems, the boiler heating system would most likely be removed and not replaced as roof top units could provide the same level of heat for a more economical cost. Next, the fire protection system would require the fire hoses be replaced and fire extinguishers be re-certified before occupancy. For the ventilation and heating systems, the PTAC units and roof top unit systems provide ventilation and cooling to the guest rooms, large banquet rooms, nigh club, lounge areas and pool areas and are an effective system. But the PTAC units and the building's roof top units conditions is suspect and we are concerned that most of them would need to be repaired or replaced with new units.

Finally to consider replacement of the plumbing, pool equipment, fire protection, and building HVAC systems, our opinion of probable cost to repair, retrofit, or replace the mechanical at over $1,250,000.00 plus applicable taxes and associated architectural, electrical, and structural related costs.

5. Qualification and Closure

The above represents our opinions only for existing condition of the mechanical systems for the Ramada Hotel as it now exists only. This report is prepared for the sole use of Alton Tangedal and their clients only. Our review only included a site review. No mechanical drawings or other system details or descriptions were given to us to allow us to examine the building's interior walls, floors, or ceilings. It is recognized that this review of none of the above noted material may not identify all original conditions or systems that may have been provided or installed in the building.

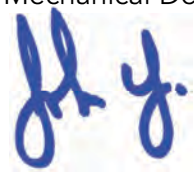
A detailed mechanical analysis was not undertaken for any particular element unless specifically noted otherwise. The reviews of the National Building Code Compliance and zoning regulations for when the building was constructed were not reviewed or review of environmental implications or energy implications, or other mechanical systems is beyond the scope of this report.

Mechanical Design Group and its affiliated holding companies shall assume no liability for the use of this report for any purpose other than that mentioned above. In no case shall Mechanical Design Group and its affiliated holding companies assume liability to any third party for any use of this report or portion thereof. The above represents our opinions only for the existing mechanical systems currently installed in the Ramada Hotel located in Yorkton, Saskatchewan only.

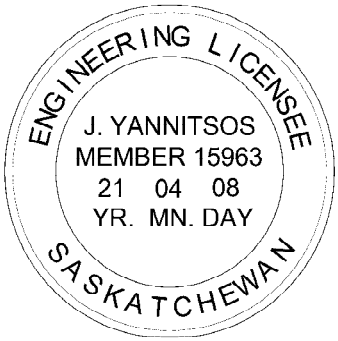
Should there be any questions on the above, please do not hesitate to contact the undersigned.

Sincerely,

Mechanical Design Group



John Yannitsos,
Engineering Licensee, A. Sc. T.



Attachment 4

A L F A E N G I N E E R I N G L T D .
consulting professional electrical engineers
2909 saskatchewan drive • regina, sask. • s4t 1h4
ph.352-7989 • fax 359-1808 • e-mail alfa@alfaengltd.com

April 12, 2021 Alfa File: 21050

Alton Tangedal Architect Ltd.
1170 – 8th Avenue
Regina, SK
S4R 1C9

Attention: Mr. Alton Tangedal

RE: YORKTON HOLIDAY INN BUILDING ASSESSMENT

ALFA Engineering was retained to complete a physical, non-invasive assessment of all electrical systems within the building. The inspection was performed by ALFA Engineering on Tuesday, March 3rd, 2021.

1.0 Main Electrical Service:

1.1 Description:

1.1.1 The existing main service to the building is fed underground from the SaskPower transformer located in the parking lot on the south side of the building. The service conductors run underground and enter the distribution equipment located in the Electrical Room from the bottom of the equipment. The service consists of a 1000A, 120/208V, 3 phase, 4 wire, free standing, two (2) section, front accessible main service entrance board.

1.2 Condition Assessment:

1.2.1 The main service is original to the 1975 addition and is in fair condition but has outlived its life expectancy and replacement parts are difficult to find.

1.3 Recommended Action:

1.3.1 The main service will need to be replaced as part of the renovation and repurpose of the building. A new 120/208V, 3-phase, 4-wire electrical main service should be designed to meet the needs of the new purpose of the building. The service will be fed underground and terminate on a weatherproof splitter or the primary lugs of the main service. A new location may have to be found for the main service equipment within the building footprint if the existing building does not have the space for it.

Opinion of Probable Cost: Main Electrical Service: $50,000.00

2.0 Branch Wiring

2.1 Description:

2.1.1 The Branch wiring is copper conductor in conduit run in the block and stud walls to the outlet devices. There are multiple branch wiring panels located throughout the building and they feed local wiring devices and equipment in close proximity to their locations.

The branch wiring panels are all 120/208V, 3-phase, 4-wire panels. A combination of surfaced and recessed panels are utilized throughout the building.

2.1.2 Branch circuit devices include standard and decora style devices with multiple finish and cover plate types.

2.2 Condition Assessment:

2.2.1 Existing branch wiring panels are beyond their theoretical life and have no or very little space available for new breakers. Many of the panels located in the basement areas are showing rust and signs of water damage.

2.2.2 Many of the devices are showing their age and use.

2.3 Recommended Action:

2.3.1 The existing branch wiring should be replaced with new. Panel locations and type should be based on the phase and voltage of the new main service. Panels shall be located as needed, based on the use of the spaces.

2.3.2 New wiring and devices shall be located as it suits the floor plans. Device and cover plates should be replaced with a single style and finish.

Opinion of Probable Cost: $100,000

3.0 Interior Lighting

3.1 Description:

3.1.1 The interior lighting is comprised mainly of T12 and T8 fluorescent and incandescent type luminaires. Public and staff areas utilize surface, recessed, decorative fluorescent and incandescent luminaires. The luminaires located in the hotel rooms are incandescent wall sconces with many of them fitted with compact fluorescent screw in lamps.

The pool area is illuminated with HID low bay luminaires.

3.2 Condition assessment:

3.2.1 The older T12 luminaires may have ballasts containing PCB's, further investigation would be required to determine the presence of PCB's.

The interior lighting is in poor condition. The lighting is beyond its theoretical life and is due for replacement/upgrading.

3.3 Recommended Action:

3.3.1 The interior lighting is recommended to be replaced with new throughout. Locations should be based on the type and area of the usage. New luminaires should incorporate energy efficient LED light sources.

Opinion of Probable Cost: $100,000

4.0 Exterior Lighting

4.1 Description:

4.1.1 The exterior of the building is illuminated with HID and Incandescent style wall and flood lighting luminaires and provides a minimum level of site illumination.

4.2 Condition Assessment:

4.2.1 The lighting is beyond its theoretical life and are due for replacement/upgrading. The locations and coverage that the current exterior lighting is poor for the use of the space.

4.3 Recommended Action:

4.3.1 The exterior lighting should be replaced with newer LED style luminaires. Additional exterior lighting should also be added to serve all elevations of the building for a more even distribution around the building for security reasons. All lighting to be installed should be dark-sky compliant to minimize the effect of light pollution around the building.

Opinion of Probable Cost: $15,000

5.0 Communications

5.1 Description:

5.1.1 The main telephone demarcation and equipment is located in the Basement Storage Area. All individual lines originate from this location and are fed to telephone outlets throughout the building via the owner's switch.

5.1.2 There is a data communications rack located in the Basement Storage Area adjacent the main telephone equipment plywood. All data cabling runs to this location.

5.2 Condition Assessment:

5.2.1 Much of the equipment is beyond its theoretical life.

5.3 Recommended Action:

5.3.1 Reconfiguration of the communications systems may be required to better suit the repurposed building requirements.

Opinion of Probable Cost: $50,000

6.0 Fire Alarm System

6.1 Description:

6.1.1 The upgraded addressable fire alarm system is comprised of a Notifier AFP-200 series control panel located in the Main Electrical Room with a remote annunciator panel located in the front lobby entrance. The fire alarm appears to include pull stations at the exit doors, bells, smoke and heat detectors. System appears to meet the requirements of the NECB.

6.2 Condition Assessment:

6.2.1 Overall, the fire alarm system appears to have been well maintained and functioning properly.

6.2.2 It appears that ULC monitoring of the fire alarm system is not present.

6.3 Recommended Action:

6.3.1 It is recommended the fire alarm system be upgraded to include ULC monitoring.

Opinion of Probable Cost: $3,000

7.0 Life safety Systems

7.1 Description:

7.1.1 The existing life safety systems consist of emergency lighting and exit lighting.

The emergency lighting system appears to be batteries feeding remote lighting heads throughout the building illuminating exit paths. The heads appear to be located as per code, but the equipment also appears to be original to the building construction.

The exit lighting appears to be incandescent style EXIT signs complete with LED retrofit lamps located at exterior doors and indicating means of egress throughout the building. The exit signage appears to be original to the building construction as well.

7.2 Condition Assessment:

7.2.1 The life safety systems are all beyond their theoretical life and need to be replaced. Many of the emergency battery packs and exit luminaires were not operational.

7.3 Recommended Action:

7.3.1 It is recommended that the emergency lighting be replaced with new and installed compliant with the National Building Code 2015 and Canadian Electrical Code 2018.

It is recommended that the Exit Lighting be installed new and installed to be compliant with the National Building Code 2015 and Canadian Electrical Code 2018.

Opinion of Probable Cost: $50,000

8.0 Security Systems

8.1 Description:

8.1.1 The security system in the building is comprised of intrusion alarm and CCTV. These systems appear to have been installed by the owner over the years. The intrusion alarm appears to be comprised of passive infrared detectors and interior sounding horns. The CCTV system appears to be surface mounted cameras within protective enclosures throughout the building interior.

8.2 Condition Assessment:

8.2.1 The two systems appear to be of more recent installation. There was no head end equipment located in the building so the actual assessment of the operation of these systems was not possible.

8.3 Recommended Action:

8.3.1 It is recommended that this equipment be accessed by the owners' security personnel for salvageability and reuse in the new facility.

Opinion of Probable Cost: $10,000

9.0 Sound Systems

9.1 Description:

9.1.1 The Sound system in the building is comprised of recessed speakers down the corridors, public and staff areas throughout the building. The system appears to have been installed by the owner over the years.

9.2 Condition Assessment:

9.2.1 The system appears to be of more recent installation. There was no head end equipment located in the building so the actual assessment of the operation of this system was not possible.

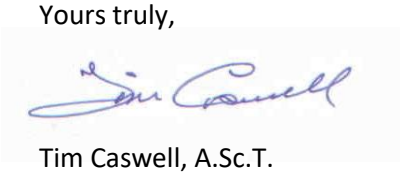
9.3 Recommended Action:

9.3.1 It is recommended that this equipment be accessed by the owners' sound system provider for salvageability and reuse in the new facility.

Opinion of Probable Cost: $10,000

Overall Opinion of Probable Cost for Electrical: **$388,000**

Yours truly,



Tim Caswell, A.Sc.T.
Senior Technologist, Principal

ALFA ENGINEERING LTD.

Attachment 5

HYDROSPHERE TECHNOLOGIES

TL Herring Consulting Group Inc.

Phase I Environmental Site Assessment
Former Ramada by Wyndham
110 Broadway St E, Yorkton, SK

Alton Tangedal Architect Ltd.
Suite 100, 1170 – 8th Avenue
Regina, SK S4R 1C9

Hydrosphere Technologies
37 Lott Road East
White City, Saskatchewan, S4L 0C1

Project Number: 21602

Date April 2021

EXECUTIVE SUMMARY

TL Herring Consulting Group Inc., Hydrosphere Technologies (Hydrosphere) was retained by Alton Tangedal Architect Ltd. (ATAL) on behalf of the City of Yorkton to complete a Phase I Environmental Site Assessment (ESA) of the property located at 110 Broadway St E, Yorkton, SK.

The primary purpose of the Phase I ESA was to determine whether the current or historical operations conducted on, or adjacent to, the subject property might have had a negative environmental impact as defined by:

- Presence of environmental contamination on site;
- Potential for migration of contaminants (both on-site and off-site); and
- Potential for negative health effects to occupants from on-site contaminants.

PROJECT NAME	Phase I Environmental Site Assessment, Former Ramada by Wyndham	
SITE INFORMATION		
SITE ADDRESS	110 Broadway St E, Yorkton, Sask.	
LEGAL (BLOCK/PLAN)	Lot C & D Blk/Par 5-Plan CG1523 Ext 0 Lot 21 & 22 Blk/Par 5-Plan 86Y08978 Ext 0 Lot 8 – 10 Blk/Par 5-Plan 7023 Ext 0	
OCCUPANCY	Vacant – former commercial hotel with restaurant and night club.	
	FINDINGS	**RECOMMENDED ACTION**
HISTORICAL LAND USE	Combination of undeveloped commercial and residential land prior to commercial development.	None
ADJACENT LAND USE	Commercial properties surrounding including a PCB storage site, three storage tank sites.	Observation of materials and/or soils during demolition/excavation.
ABOVEGROUND FUELS	None identified on-site.	None
UNDERGROUND FUELS	None identified on-site.	None

	Four inactive but un-reclaimed fuel tanks within 250m at equal or higher elevation.	Observation of materials and/or soils during demolition/excavation.
WASTE MANAGEMENT	No hazardous waste storage on-site. One storage tank off-site within 250m at an equal or higher elevation.	None Observation of materials and/or soils during demolition/excavation.
SPILL AND STAIN AREAS	None identified but observations limited by snow cover.	None
WASTEWATER DISCHARGES	City of Yorkton.	None
AIR DISCHARGES	No potential sources were identified.	None
POLYCHLORINATED BIPHENYLS (PCBS)	The potential source was identified in the electrical room(s). Two sites containing PCBs within 250m of this site at an equal or higher elevation.	Inventory and evaluation before demolition or removal.
ASBESTOS AND UFFI	Potential sources identified in flooring and ceiling tiles as well as piping insulation.	Sample and inventory before demolition plan development.
LEAD	Potential sources observed during the site visit included original piping in the basement mechanical and concrete paint on the basement level.	Sample and inventory before demolition plan development.
OZONE DEPLETING SUBSTANCES (ODSS)	Sources are limited to A/C units, rooms and rooftop, and refrigeration units.	Inventory and evaluation before demolition or removal.
ELECTROMAGNETIC FIELDS (EMFS)	No potential sources were identified.	None
NOISE AND VIBRATIONS	Limited to road and railway traffic.	None
MICROBIAL GROWTH	Potential sources from water damage to floors and ceiling as well as standing water in some areas.	Sample and inventory before demolition plan development.
MERCURY	Potential sources identified were limited to lighting and thermostats.	None

Based on the information gathered, interviews, and the site visit, the Phase I ESA has identified any environmental concern associated with the subject property associated with the following sources:

- asbestos;
- PCBs;
- mould;
- lead; and
- ODSs.

In our opinion, the environmental risk associated with the subject property is a medium impact with a high likelihood (see **Figure 2**) for a risk ranking of HIGH. It should be noted that at this time, not all requested responses from regulatory agencies have been received and our conclusions may be modified based on these requests. Any information received which would impact the findings will be forwarded upon receipt.

It is recommended that a Phase II sampling and survey program be undertaken to confirm or refute the environmental concerns identified and provide a quantitative assessment to base a remediation cost estimate on.

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INTRODUCTION

TL Herring Consulting Group Inc., Hydrosphere Technologies (Hydrosphere) was retained by Alton Tangedal Architect Ltd. (ATAL) on behalf of the City of Yorkton to complete a Phase I Environmental Site Assessment (ESA) of the former Ramada by Wyndham, 110 Broadway St E, Yorkton, SK.

Site Description and Background

The primary purpose of the Phase I ESA was to determine whether the current or historical operations conducted on, or adjacent to, the subject properties might have had a negative environmental impact as defined by:

- Presence of environmental contamination on site;
- Potential for migration of contaminants (both on-site and off-site); and
- Potential for negative health effects to occupants from on-site contaminants.

Identification of Subject Property

The property examined during the investigation, referred to as the subject property or subject site (**Figure 1**) is defined as:

Generic Reference:	110 Broadway St E, Yorkton, SK
Legal Description:	Lot C & D Blk/Par 5-Plan CG1523 Ext 0 Lot 21 & 22 Blk/Par 5-Plan 86Y08978 Ext 0 Lot 8 – 10 Blk/Par 5-Plan 7023 Ext 0

Figure 1 Site location (outlined)

Source: Information Services Corp.

Site photographs are also presented in **Appendix A**.

Scope of Work

A Phase I ESA involves the evaluation and reporting of existing information collected through a records review (current and historical), site inspection, and contact with regulatory officials. A Phase I ESA does not normally include sampling or testing of air, soil, groundwater, surface water or building materials. These activities are carried out in a Phase II ESA, if required.

The evaluation of risk presented within this report is based on the following risk matrix (**Figure 2**). This is based on the subjective matrixes of likelihood and impact.

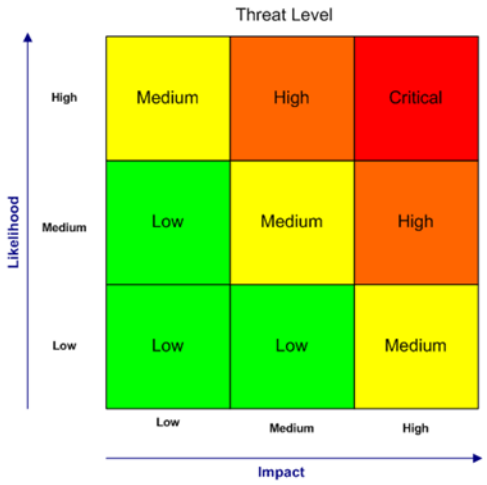


Figure 2 Risk Matrix

The Phase I ESA was completed in accordance with the Canadian Standards Association (CSA) Phase I Environmental Site Assessment Standard Z768-01 (R2016). The professional qualifications of the project team are presented on page 13 – Statement of Qualifications.

Records Review

A summary of information obtained from searches, file requests and interviews is summarized below:

1. EcoLog Eris Reporting
2. Enviroscan
    a. 19656 Fire Insurance Plans
    b. 1985 COPE (Construction, Occupancy, Protection, Exposure) Report
    c. 2000 Multirisk Report
3. Saskatchewan Ministry of the Environment (MOE)
    a. SaskSpills Database
    b. Hazardous Materials Storage Database
4. City of Yorkton
    a. Taxation and Assessment
5. Information Services Corporation
    a. Aerial Photographs
    b. Land Titles
6. Interview
    a. Jeff Fawcett, Manager of Capital Projects, City of Yorkton

SITE CHARACTERIZATION

Current and historical information describing the subject sites and adjacent properties was obtained from a variety of sources (detailed above) and summarized below.

Site Description

The subject site is comprised of an "L" shaped lot covering 0.795 hectare (2.11 acres) of commercial property. Site development is a two-storey hotel with 91 guest rooms, pool with water slide, night club, banquet rooms and restaurant with protected cooking. The building was built in the late 1960s with additions/redevelopments in 1976 and 1983. The building has a footprint of 3432 sq. m and a total area of 5496 sq. m.

There is parking available to the north and west of the hotel and site servicing of the property is provided by the City of Yorkton, SaskPower, SaskEnergy, etc.

The building is listed as M&S Sec. 11 - Apartments, Clubs, Hotels and identified as the former Ramada by Wyndham hotel. The building is slated for demolition and comments regarding building finishes and materials are presented in section Site Inspection. Photographs of interior finishes and potential concerns are provided in **Appendix A**.

Figure 3 - Site Layout (outlined in red)

Source: Google Maps.

A summary of the site and structure information is presented below:

Site Information	
Legal Description	Lot PT C-D Block 05 Plan CG1523 Sup 00 as per SAMA report
Zoning	C1 – City Centre Commercial
Area (size)	0.795 hectare (2.11 acres)
Utility Providers	Utilities provided by provincial/municipal providers.
Structure Information	
Type	Two-storey steel/cinderblock with concrete grade beam on pile foundation
Date of Construction	Late 1960s with additions/redevelopments in 1976 and 1983
Size	Total Gross Area – 510 m^2 (5,495 ft^2)
Number of Storeys	Two-storey with basement.
Heating	Natural gas fired boilers
Cooling	Individual window air conditioners (hotel rooms) Roof top HVAC (meeting rooms/hotel)
Electrical	Metered from basement electrical.
Exterior Finish	Stucco on metal. Tar & gravel ballast on concrete and steel deck over wood joist.
Interior Finishes	Drywall over cinderblock and/or wood

Soil, Topography and Drainage

The soils of the Yorkton area are medium-textured soils derived from highly calcareous glacial till. They are frequently found in association with Oxbow types, but in general are most common in the eastern section of the Black Soil Zone, in the districts of Yorkton, Melville, and Langenburg.

The topography is chiefly undulating, with some areas mapped as mixed undulating and gently rolling.

The drainage is fair to poor with low wet depressions (sloughs) and marshy areas being quite common. Many of these contain water. However, the soils on the higher positions are sufficiently well drained to be fertile and arable.

The remaining potion of the property that is not covered by the subject building is used for parking which drains to the municipal system. No evidence of wells, pits, lagoons, stressed vegetation, watercourses, ditches, or standing water was observed. It should be noted that the site was snow covered during the site visit.

Current/Historical Land Use

Current and historical land use of the subject site and adjacent properties was determined through the review of the following sources:

- ERIS Reporting;
- Enviroscan Reporting; and
- Information Services Corporation (land titles and air photos).

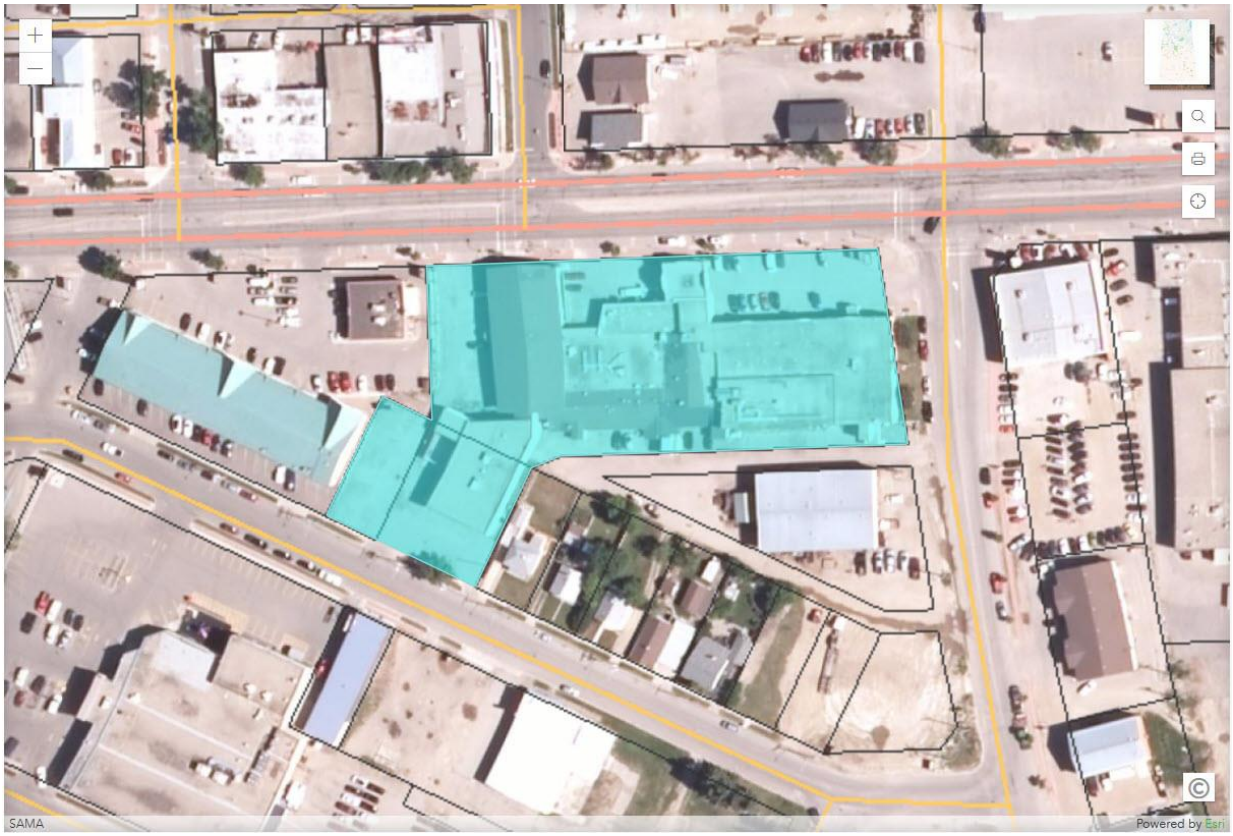


Figure 4 – Surrounding Lands

Source: SAMA

Subject Property (shaded)

Period/Date	Land Use	Source	Potential Concern
Initial development late 1960s - present.	Commercial, hotel. Originally a Holiday Inn but most recently a Ramada by Wyndham.	Air Photos Archives	None identified

Prior to 1965	Undeveloped commercial or possibly residential.	Air Photos	None identified

Adjacent Properties, from air photos

Period/Date	Land Use	Source	Potential Concern
1949	The subject area appears to be a combination of a roadway, residential, and undeveloped land in this air photo.	Air Photos	None identified
1965	The subject property is undeveloped with commercial developments surrounding.	Fire Insurance Plan	None identified
1976	The area is being developed with the current hotel (main and west addition) but missing the nightclub addition. Commercial and residential properties surrounding.	Air Photos	None identified
1997	The subject property is developed consistent with today. Commercial properties surround to the north, east, and west. Residential is present to the south.	Air Photos	None identified
2004	The subject site and all surrounding properties are developed consistent with today's configuration..	Air Photos Google Maps	None identified
2015	The subject site and all surrounding properties are developed consistent with today's configuration.	Air Photos Google Maps	None identified
2020	The subject site and all surrounding properties are developed consistent with today's configuration.	Air Photos Interviews Archives	None identified

SITE INSPECTION

Troy Herring and Jordan Herring of Hydrosphere Technologies participated in the ATAL site tour on 30 March 2021. Areas inspected included:

- A selection of guest rooms and suites during the tour;
- Basement level including administrative, mechanical, and maintenance areas;
- Pool Area and chemical storage/infrastructure rooms;
- Restaurant and kitchen areas;
- Laundry Room and building infrastructure rooms;
- The public areas of the hotel; and
- The public accessible exterior of the subject and adjacent properties.

Photographs documenting the site visit are presented in **Appendix A**.

During this site inspection the following CSA Z768-01 (R2016) inspection items were evaluated for their potential impact to the property.

Fuel/Chemical Storage and Handling

Material handling associated with the site included: paints, solvents, cleaning chemicals, pool maintenance chemicals, and boiler maintenance chemical. Depending upon total volumes, these chemicals will need to be inventoried and manifested prior to disposal.

Waste Management

Currently, no hazardous wastes are generated at the subject property.

Spill and Stain Areas

Limited amounts of staining of the visible parking lot areas were noted during the site visit however this was not considered excessive. It should be noted that snow cover limited observations in some areas of the property.

Wastewater Discharges

Municipal wastewaters (sewage) generated on site as discharged to the City of Yorkton system. Surface water effluent drains from site to the municipal storm water system.

Air Discharges

No air discharges of concern were noted to be generated on this site.

Polychlorinated Biphenyls (PCBs)

Polychlorinated biphenyls, commonly referred to as PCBs, are typically found in transformers and other electrical equipment containing insulating fluids. By definition, PCB liquid, solid, and equipment means

materials containing more than 50 parts per million (ppm) PCBs. Materials containing less than 50 ppm PCBs are not classified as PCB waste under federal regulations. PCBs have been banned in transformers and capacitors since early 1980, but units manufactured prior to this date must be suspected to contain PCBs unless tested or marked otherwise.

The electrical service for this property is provided by SaskPower however there were two separate transformers identified in the pool electrical room and the maintenance/shop area of the basement. These appear to be site owned units and may contain PCB oil.

Numerous fluorescent lights, and associated ballasts, were also identified across that building(s) which may also be sources of PCBs.

Asbestos and Urea Formaldehyde Foam Insulation (UFFI)

For half a century, until the 1980s, asbestos was used in office buildings, public buildings, and schools. It insulated hot water heating systems and was put into walls and ceilings as insulation against fire and sound.

Asbestos has also been found in many building products. It has been used in clapboard; shingles and felt for roofing; exterior siding; pipe and boiler covering; compounds and cement, such as caulk, putty, roof patching, furnace cement and driveway coating; wallboard; textured and latex paints; acoustical ceiling tiles and plaster; vinyl floor tiles; appliance wiring; hair dryers; irons and ironing board pads; flame-resistant aprons and electric blankets; and clay pottery. Loose-fill vermiculite insulation may contain traces of "amphibole" asbestos.

The sale and installation of UFFI as thermal insulation began in approximately 1970 and continued until December 1980 when it was banned under the federal Hazardous Products Act. UFFI was installed in both new and existing buildings during this period.

The presence of asbestos is suspected in the following building materials: floor tile in the kitchen and laundry areas, piping insulation in the mechanical/boiler rooms, and original ceiling tiles above the existing suspended ceiling in numerous locations. No physical material samples were taken.

No observations or indications of UFFI material was identified during the site tour.

Potential Lead Containing Building Materials

Lead poisoning from lead-based paint may arise from swallowing or breathing minute particles of lead. Exposure to lead from paints may occur from renovation or demolition activities where lead based paints are disturbed, i.e. cutting, sanding, or crushing. Lead poisoning produces serious health effects, particularly in children.

Since 1950, the widespread use of lead as an additive in paint has been greatly reduced voluntarily by the manufacturers. However, it was not until 1976 that Federal Government regulations set limits on the amount of lead allowed in paints, enamels, and other liquid coating materials as set forth under the "Hazardous Products Act". The allowable amount of lead in interior paints, enamels, and other liquid coating materials was set at five thousand parts per million (ppm), or 0.5 percent for paints. This limit is presently in force.

During the site visit potential lead piping was noted in the basement mechanical areas on the supply systems.

Ozone Depleting Substances (ODSs)

Different types of Freon are generally present in air conditioning and refrigeration: Freon R-12 (Ozone-Depleting Potential (ODP) level = 1.0), Freon R-22 (ODP level = 0.05), and Freon R-502 (ODP level = 0.33). All types listed above contain CFCs (chlorofluorocarbons), which are substances known to contribute to the earth's ozone layer depletion; however, Freon R-22 contains the lowest concentration of CFC as indicated by the ODP level.

The ODP for the refrigeration and area air conditioning units identified at the subject site was not confirmed; however, the minimal amount of potential ODS contained in the equipment makes this finding minor but should be addressed in decommissioning.

Electromagnetic Frequencies (EMFs)

No electrical substations or high voltage transmission lines, which could generate significant electromagnetic fields, were identified near the subject property.

Noise and Vibration

Sources of noise and vibration associated with this site include roadway traffic and rail line traffic/activities to the south. This is not anticipated to detrimentally impact the site.

Microbial Growth

Areas of water damage and microbial growth were noted in the basement areas, in the nightclub (Holly's), and the laundry areas of the building. This includes areas of black mould growth in the administrative offices.

Mercury

Mercury is a cumulative poisonous element, which is toxic to the nervous system. Mercury-based paints were used up until the early 1990s. Mercury may also be present in thermostats, thermometers, and high intensity lighting.

No sources of mercury were identified during the site visit.

CONCLUSIONS

Based on the information gathered, interviews, and the site visit, the Phase I ESA has identified any environmental concern associated with the subject property associated with the following sources:

- asbestos;
- PCBs;
- mould;
- lead; and
- ODSs.

In our opinion, the environmental risk associated with the subject property is a medium impact with a high likelihood (see **Figure 2**) for a risk ranking of HIGH. It should be noted that at this time, not all requested responses from regulatory agencies have been received and our conclusions may be modified based on these requests. Any information received which would impact the findings will be forwarded upon receipt.

It is recommended that a Phase II sampling and survey program be undertaken to confirm or refute the environmental concerns identified and provide a quantitative assessment to base a remediation cost estimate on.

CLOSURE

The information in this report is intended for the use of Alton Tangedal Architect Ltd., the City of Yorkton and their appointed agents. The report may not be relied upon by any other person or entity without the consent of TL Herring Consulting Group Inc. (Hydrosphere Technologies).

Any use, which a third party makes of this report, or any reliance on decisions made based on it, is the responsibility of such third parties. TL Herring Consulting Group Inc. (Hydrosphere Technologies) accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report.

The scope of our investigation was limited to a review of the background history of the site, contact with relevant regulatory agencies, a site visit, and interviews with people with historical knowledge of the site. TL Herring Consulting Group Inc. (Hydrosphere Technologies) assumes that the information that has been provided for review is accurate. Our opinion cannot be extended to portions of the site, which were inaccessible or unavailable for direct observation at the time of our investigation.

While comments have been provided regarding asbestos, urea formaldehyde and PCBs, a thorough inspection of these materials was not completed. No on-site testing, sampling or analysis of soils, water, wastes, air or other materials was conducted. Our observations should be evaluated in light of this limited scope.

It is possible that unexpected environmental conditions may be encountered on the subject property, which has not been explored with the scope of this Phase I ESA. Should such conditions be encountered, TL Herring Consulting Group Inc. (Hydrosphere Technologies) should be notified in order that we may determine if modifications to our conclusions are necessary.

The conclusions presented represent the best judgements of the assessor based on the current environmental standards and on the site conditions observed on 30 March 2021. Because of the nature of the investigation and the limited data available, the assessor cannot warrant against undiscovered environmental liabilities.

This report was prepared by Jordan Herring, CESA and reviewed by Troy L. Herring, AScT, EP(CEA), CESA, EP(EMSLA).

HYDROSPHERE TECHNOLOGIES

Jordan Herring,
CESA

Troy L. Herring,
AScT, EP(CEA), EP(EMSLA), CESA

STATEMENT OF QUALIFICATIONS

Name: Jordan T. Herring, CESA
Environmental Technician, Hydrosphere Technologies

Education: Certificate in Occupational Health and Safety (Practitioner),
Saskatchewan Polytechnic, Kelsey Campus, Saskatoon, Sask. 2018.

Phase I Experience:

- Registered as a Certified Environmental Site Assessor with the Associated Environmental Site Assessors of Canada (18010).
- Phase I ESA and Phase I ESA Upstream Oil and Gas Training with AESAC completed in 2015
- Assisted with assessments of several properties, including residential and commercial land and buildings, for mortgage or refinancing purposes since 2015.

Name: Troy L. Herring, AScT, EP(CEA), EP(EMSLA), CESA
Principal Consultant, Hydrosphere Technologies

Education: Diploma in Engineering Technology (Water Resources),
Saskatchewan Institute of Applied Science and Technology (SIAST), (Co-op Work/Study Program), Palliser Institute, Moose Jaw, Sask. 1994.

Phase I Experience:

- Registered as a Certified Environmental Site Assessor with the Associated Environmental Site Assessors of Canada.
- Phase I ESA background information assembly and review, various sites, Western Canada.
- Assessor of several commercial properties, including shopping centres and office buildings, for mortgage or refinancing purposes since 1993.
- Preparation of Phase I reporting for more than 250 sites.

Appendix A – Photographs

1. Site Photos
2. Air Photos

Photo 1 – Lower-level sump full of water. Water damage to walls.

Photo 2 – Housekeeping. Maintenance area paint storage.

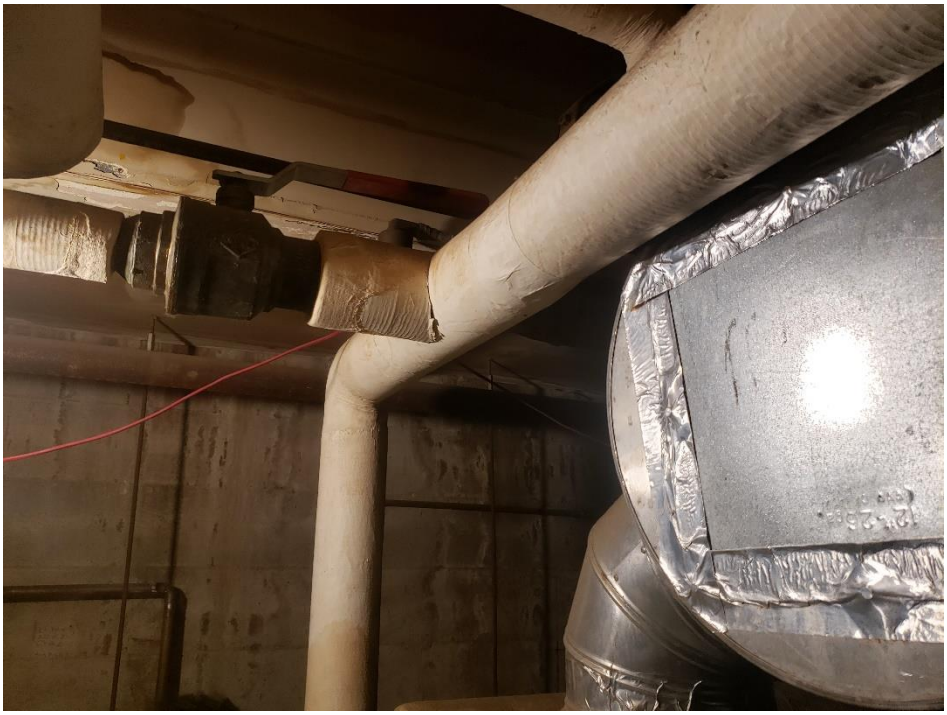


Photo 3 – Boiler room piping insulation elbows. Potential for ACMs. Similar piping insulation found in multiple areas of property.

Photo 4 – Ceiling tiles above suspended ceiling. Found throughout property. Potential for ACMs.

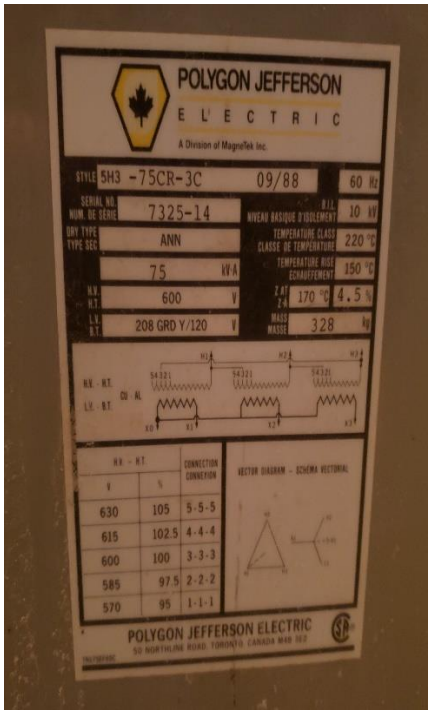


Photo 5 – Electrical room transformer. Potential for PCBs.

Photo 6 – Pool chemical room.

Photo 7 – Holly's bar and nightclub.

Photo 8 – Hotel restaurant kitchen.

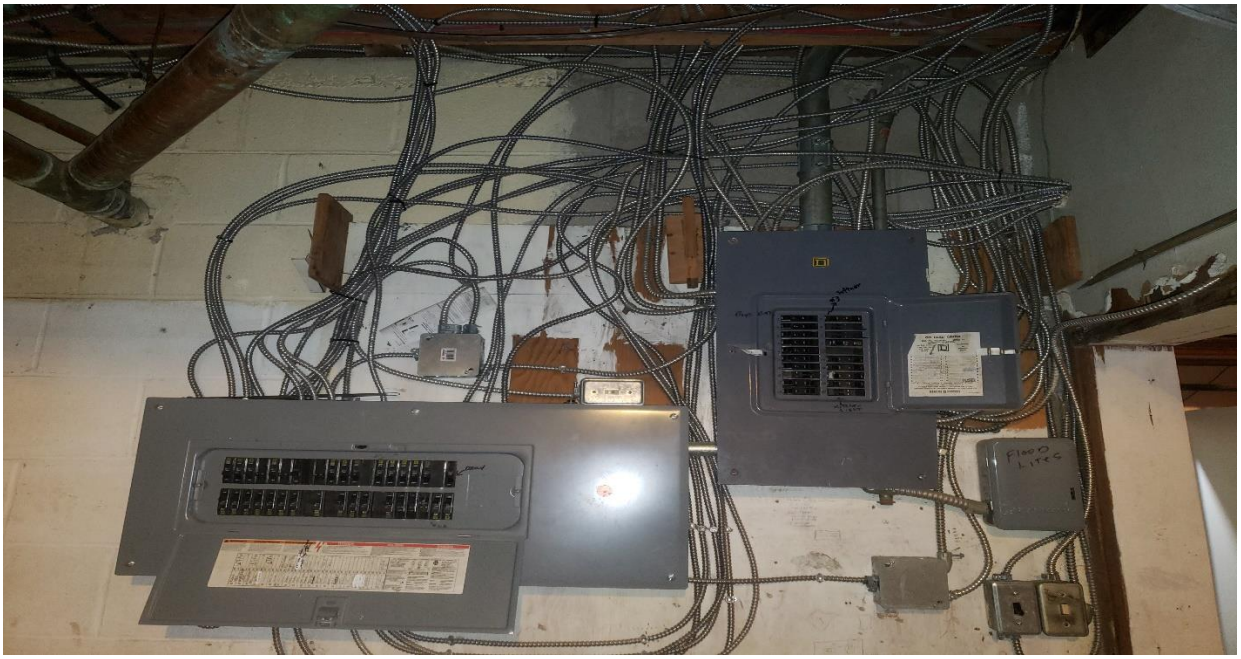


Photo 9 – Lower-level electrical panels.

Photo 10 – Lower-level fluorescent lighting ballasts.

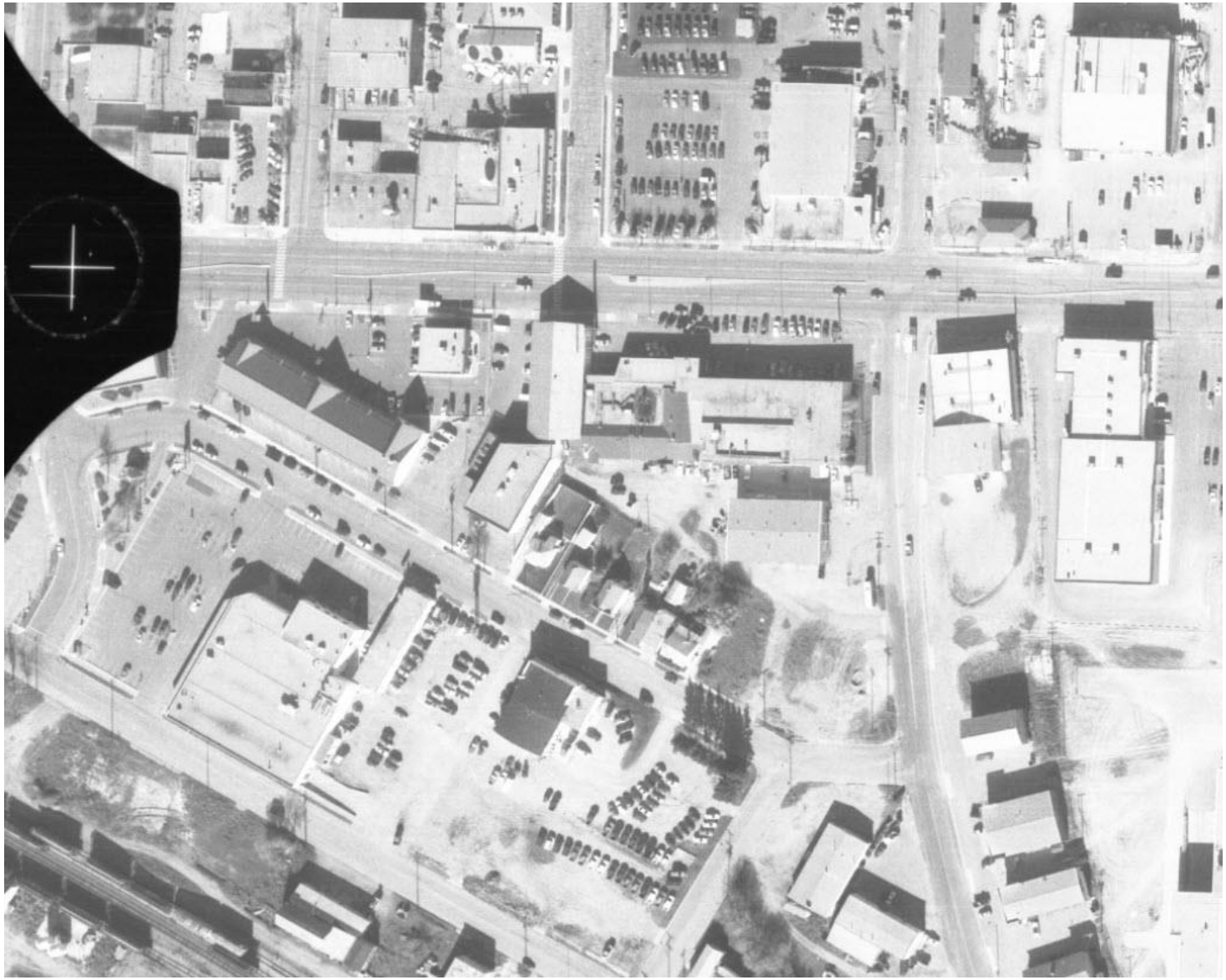
2020 Aerial Photo

Google Earth
Imagery Date: 4/21/2015 51°12'34.79" N 102°27'19.89" W elev 1646 ft eye alt 29
Image © 2021 Maxar Technologies
4 Ave N
5 Ave N
6th Ave
7 Ave N
Broadway St E
4 Ave S
Argyle St
Livingstone St
2 St
7 Ave S
4/2015

2015 Aerial

Google Earth
Imagery Date: 4/19/2004 51°12'34.79" N 102°27'19.89" W elev 1646 ft eye alt 2967 ft
Image © 2021 Maxar Technologies
4 Ave N
5 Ave N
6th Ave
7 Ave N
Broadway St E
Argyle St
Livingstone St
2 St
7 Ave S
4/2004

2004 Aerial



1997 Aerial

1976 Aerial

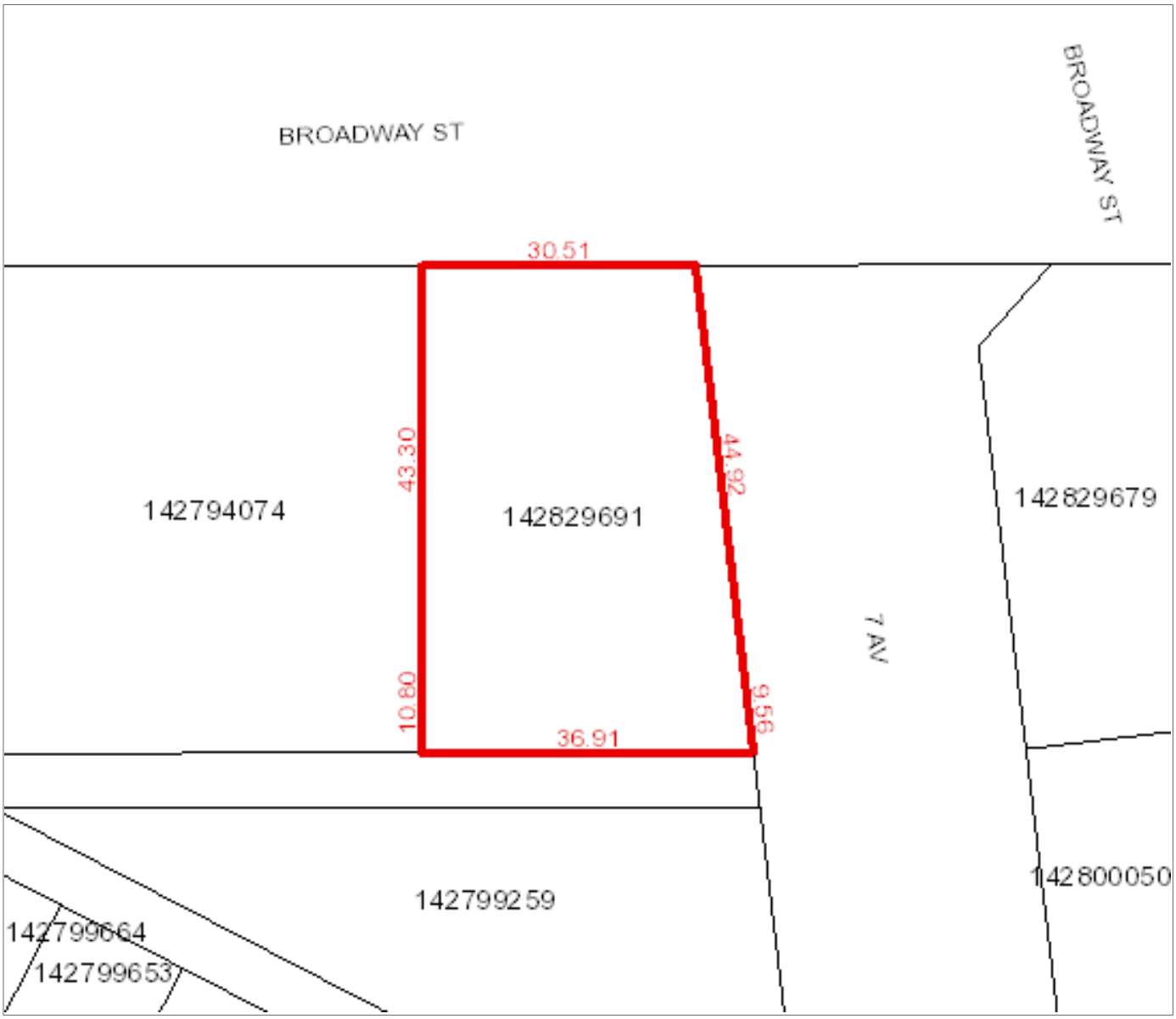
1949 Aerial

Appendix B – Supporting Documentation

1. Land Titles
2. SAMA Assessment
3. ERIS Reporting
4. EnviroScan Reporting
5. Saskatchewan Ministry of Environment

Surface Parcel Number: 142829691

REQUEST DATE: Tue Apr 20 10:20:54 GMT-06:00 2021



Owner Name(s) : CITY OF YORKTON

Municipality : CITY OF YORKTON

Area : 0.182 hectares (0.45 acres)

Title Number(s) : 153854837

Converted Title Number : 00Y02739

Parcel Class : Parcel (Generic)

Ownership Share : 1:1

Land Description : Lot D-Blk/Par 5-Plan CG1523 Ext 0

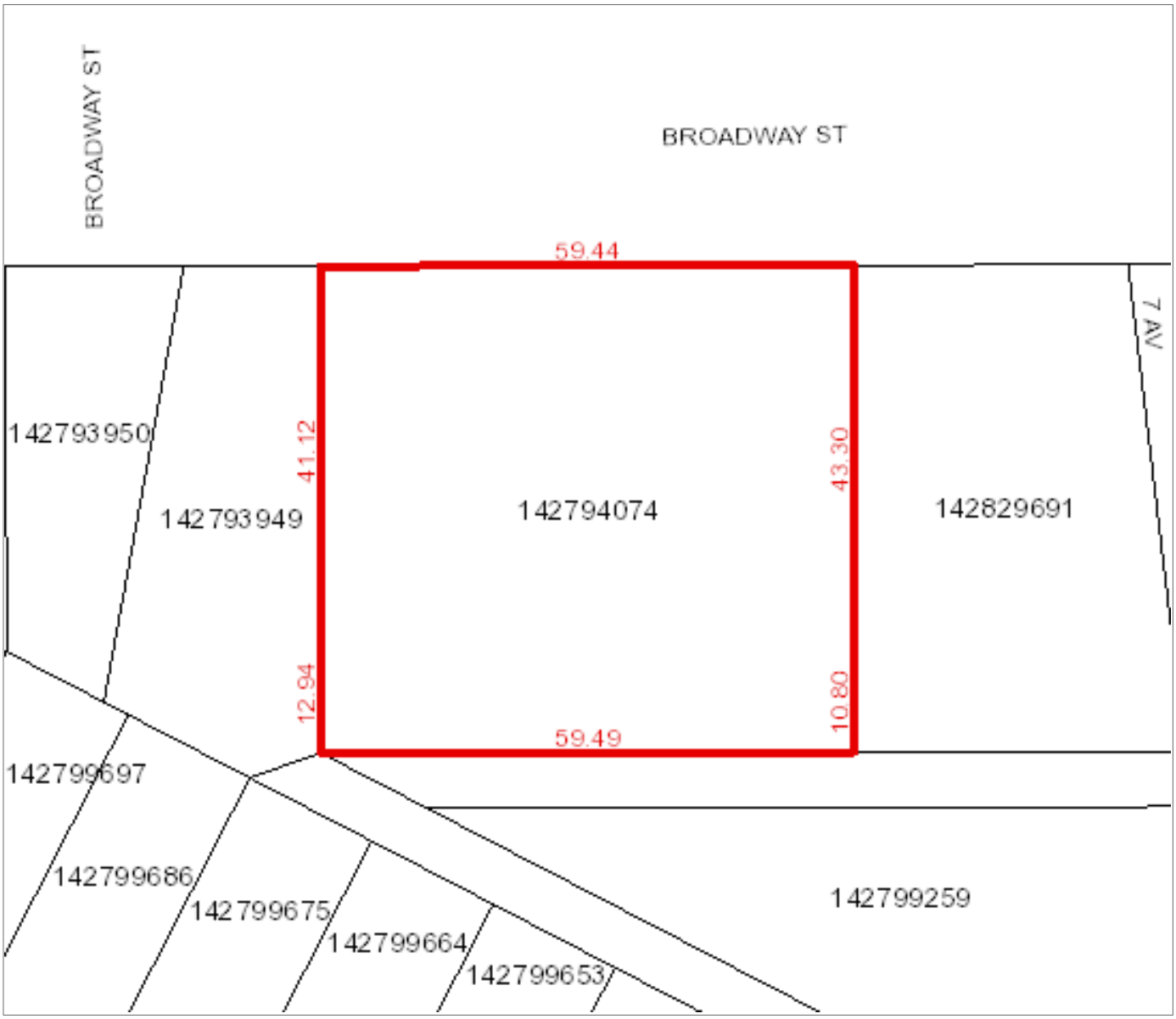
Source Quarter Section : NE-35-25-04-2

Commodity/Unit : Not Applicable

DISCLAIMER: THIS IS NOT A PLAN OF SURVEY It is a consolidation of plans to assist in identifying the location, size and shape of a parcel in relation to other parcels. Parcel boundaries and area may have been adjusted to fit with adjacent parcels. To determine actual boundaries, dimensions or area of any parcel, refer to the plan, or consult a surveyor.

Surface Parcel Number: 142794074

REQUEST DATE: Tue Apr 20 10:22:10 GMT-06:00 2021



Owner Name(s) : CITY OF YORKTON

Municipality : CITY OF YORKTON

Area : 0.322 hectares (0.79 acres)

Title Number(s) : 153854815

Converted Title Number : 00Y02739

Parcel Class : Parcel (Generic)

Ownership Share : 1:1

Land Description : Lot C-Blk/Par 5-Plan CG1523 Ext 0

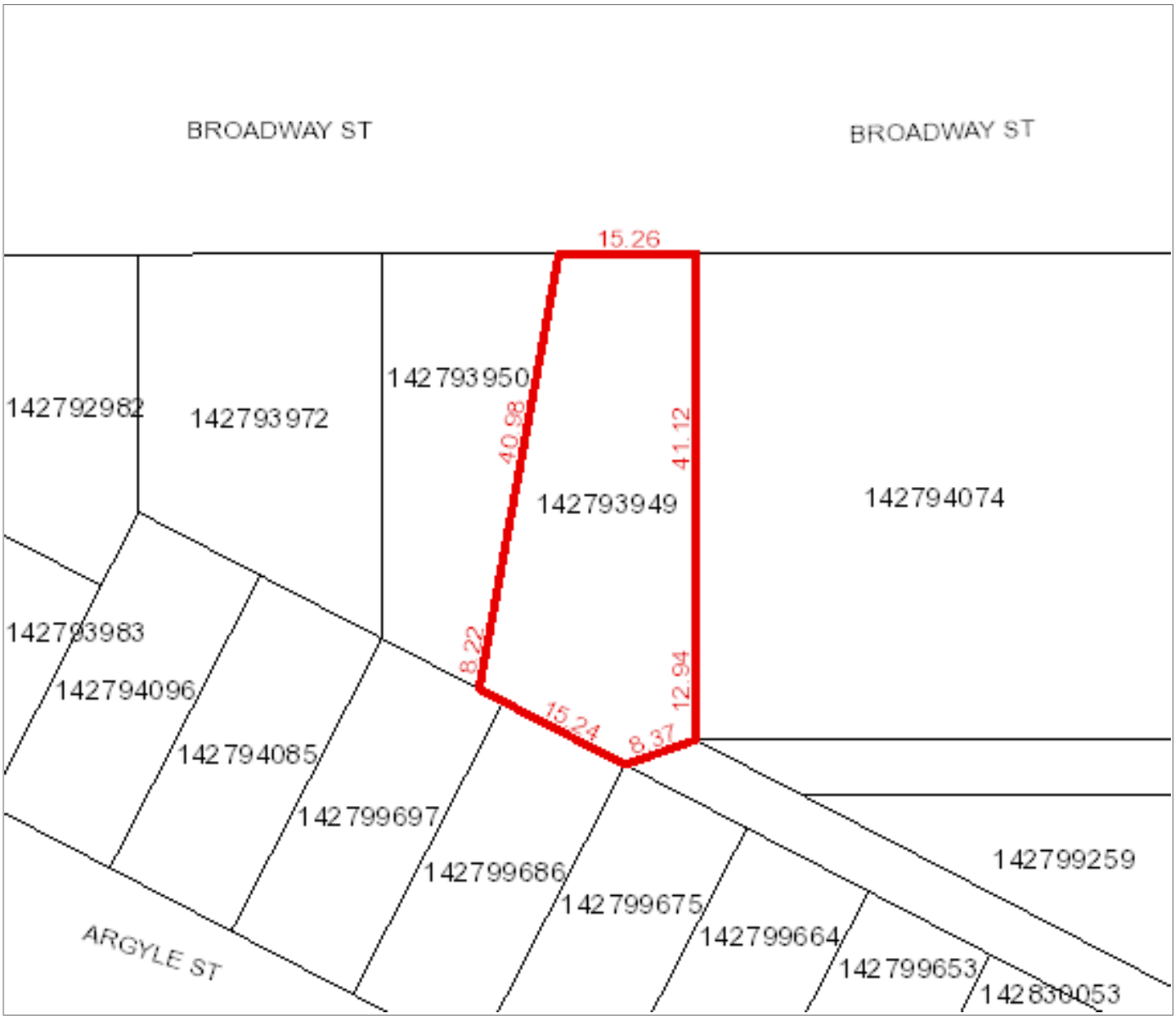
Source Quarter Section : NE-35-25-04-2

Commodity/Unit : Not Applicable

DISCLAIMER: THIS IS NOT A PLAN OF SURVEY It is a consolidation of plans to assist in identifying the location, size and shape of a parcel in relation to other parcels. Parcel boundaries and area may have been adjusted to fit with adjacent parcels. To determine actual boundaries, dimensions or area of any parcel, refer to the plan, or consult a surveyor.

Surface Parcel Number: 142793949

REQUEST DATE: Tue Apr 20 10:22:46 GMT-06:00 2021



Owner Name(s) : CITY OF YORKTON

Municipality : CITY OF YORKTON

Area : 0.108 hectares (0.27 acres)

Title Number(s) : 153854893

Converted Title Number : 00Y02739E

Parcel Class : Parcel (Generic)

Ownership Share : 1:1

Land Description : Lot 22-Blk/Par 5-Plan 86Y08978 Ext 0

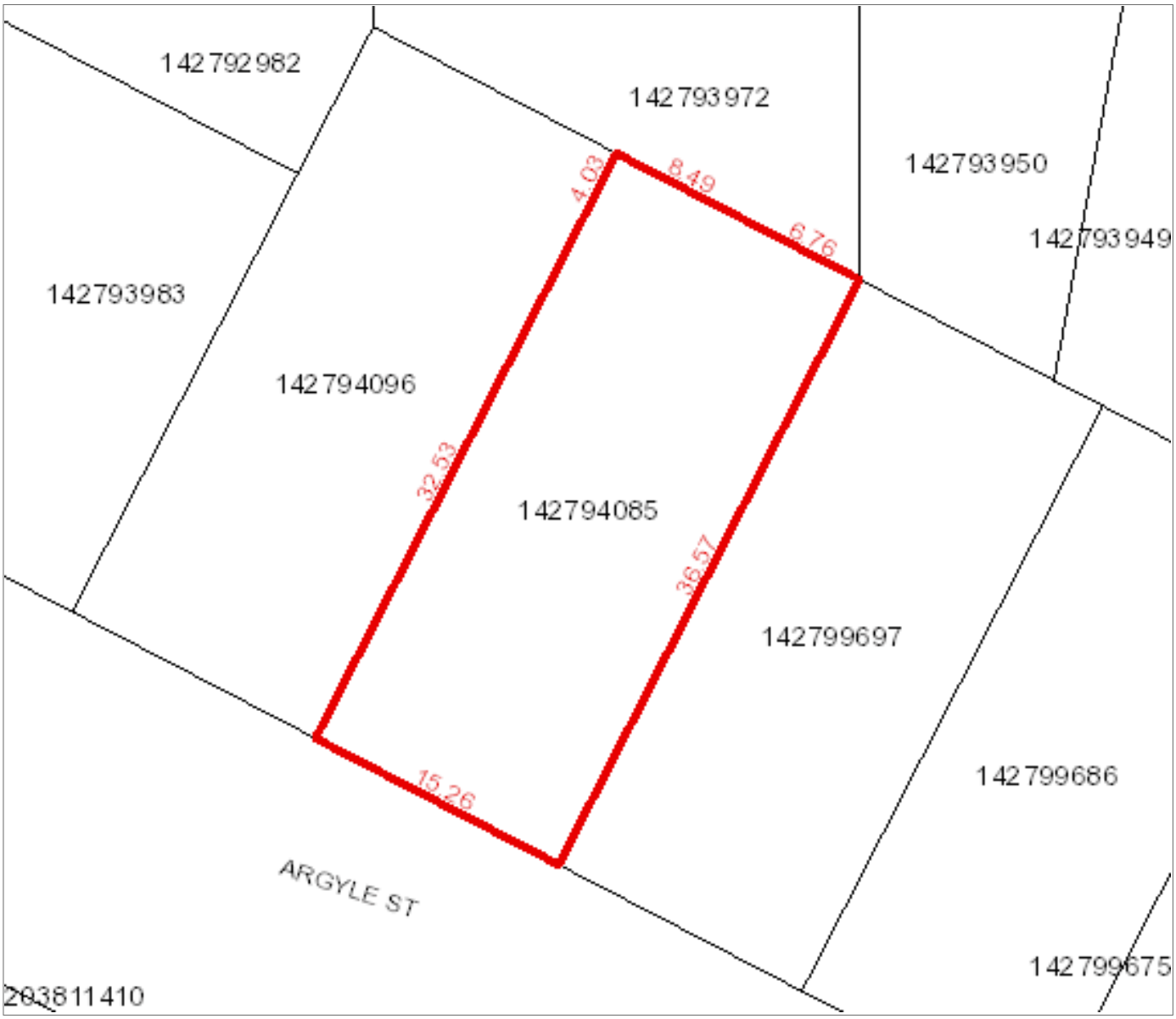
Source Quarter Section : NE-35-25-04-2

Commodity/Unit : Not Applicable

DISCLAIMER: THIS IS NOT A PLAN OF SURVEY It is a consolidation of plans to assist in identifying the location, size and shape of a parcel in relation to other parcels. Parcel boundaries and area may have been adjusted to fit with adjacent parcels. To determine actual boundaries, dimensions or area of any parcel, refer to the plan, or consult a surveyor.

Surface Parcel Number: 142794085

REQUEST DATE: Tue Apr 20 10:23:53 GMT-06:00 2021



Owner Name(s) : CITY OF YORKTON

Municipality : CITY OF YORKTON

Area : 0.056 hectares (0.14 acres)

Title Number(s) : 153854781

Converted Title Number : 00Y02739C

Parcel Class : Parcel (Generic)

Ownership Share : 1:1

Land Description : Lot 10-Blk/Par 5-Plan 7023 Ext 0

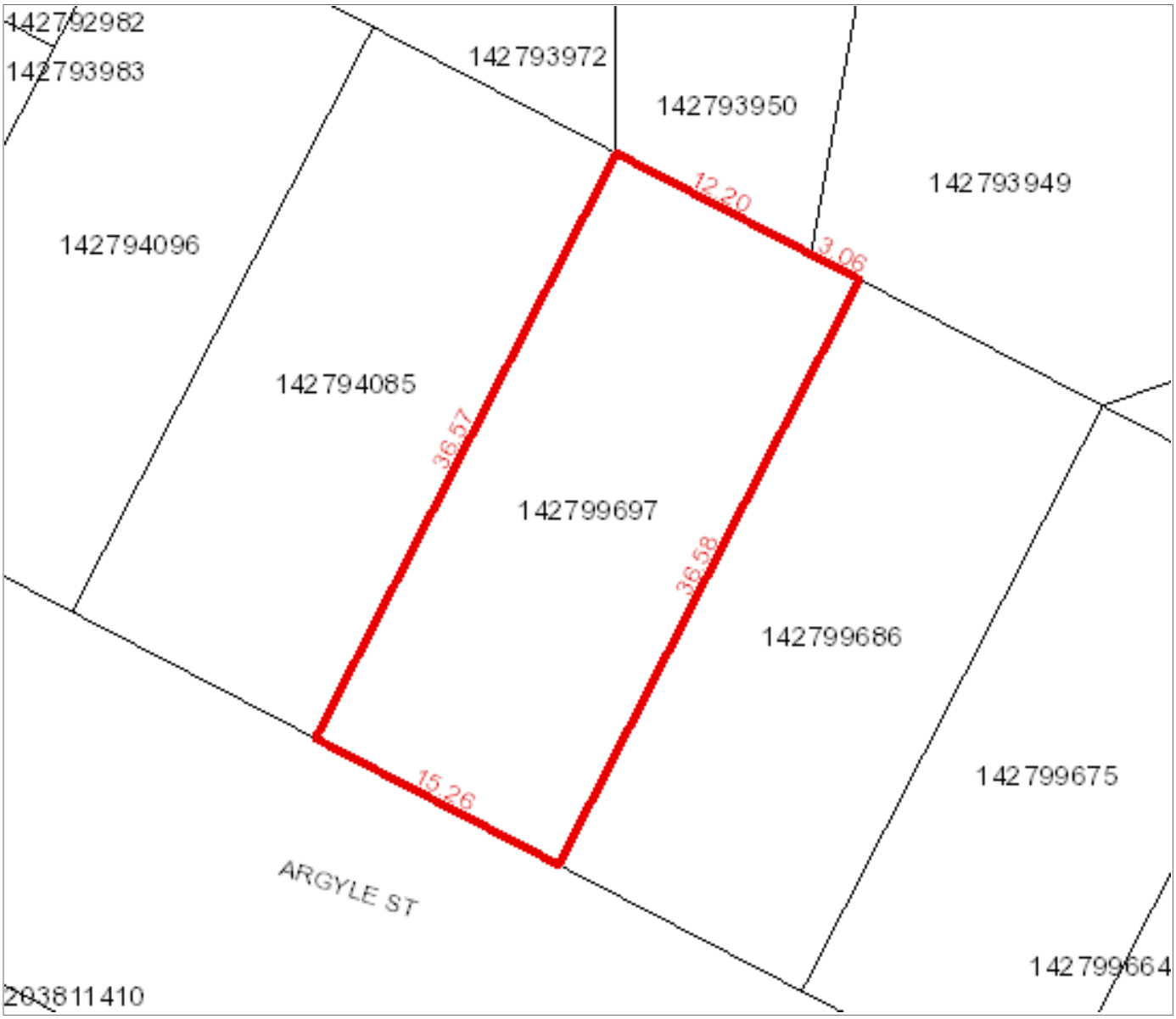
Source Quarter Section : NE-35-25-04-2

Commodity/Unit : Not Applicable

DISCLAIMER: THIS IS NOT A PLAN OF SURVEY It is a consolidation of plans to assist in identifying the location, size and shape of a parcel in relation to other parcels. Parcel boundaries and area may have been adjusted to fit with adjacent parcels. To determine actual boundaries, dimensions or area of any parcel, refer to the plan, or consult a surveyor.

Surface Parcel Number: 142799697

REQUEST DATE: Tue Apr 20 10:24:31 GMT-06:00 2021



Owner Name(s) : CITY OF YORKTON

Municipality : CITY OF YORKTON

Area : 0.056 hectares (0.14 acres)

Title Number(s) : 153854758

Converted Title Number : 00Y02739B

Parcel Class : Parcel (Generic)

Ownership Share : 1:1

Land Description : Lot 9-Blk/Par 5-Plan 7023 Ext 0

Source Quarter Section : NE-35-25-04-2

Commodity/Unit : Not Applicable

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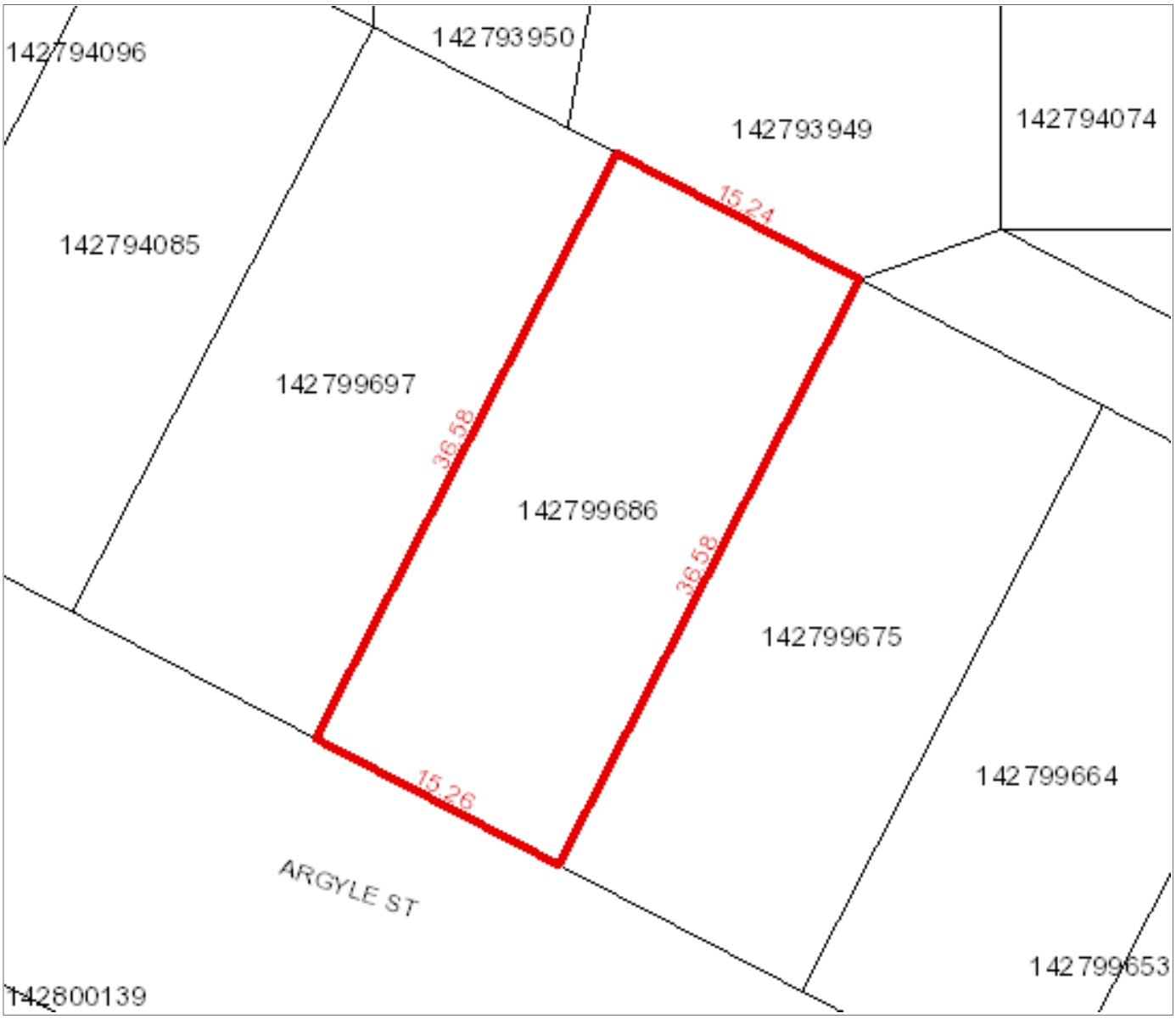
Surface Parcel Number: 142799686

REQUEST DATE: Tue Apr 20 10:25:04 GMT-06:00 2021



Owner Name(s) : CITY OF YORKTON

Municipality : CITY OF YORKTON

Area : 0.056 hectares (0.14 acres)

Title Number(s) : 153854703

Converted Title Number : 00Y02739A

Parcel Class : Parcel (Generic)

Ownership Share : 1:1

Land Description : Lot 8-Blk/Par 5-Plan 7023 Ext 0

Source Quarter Section : NE-35-25-04-2

Commodity/Unit : Not Applicable

DISCLAIMER: THIS IS NOT A PLAN OF SURVEY It is a consolidation of plans to assist in identifying the location, size and shape of a parcel in relation to other parcels. Parcel boundaries and area may have been adjusted to fit with adjacent parcels. To determine actual boundaries, dimensions or area of any parcel, refer to the plan, or consult a surveyor.

MySAMA

General Property Overview

YORKT-515051800

$2,224,300

2020 Roll Year 2019 Roll Year

Overview

Civic Address
110 Broadway St E

Legal Land Description
Lot PT C-D Block 05 Plan CG1523 Sup 00

Title Acres
NA

Municipality
YORKT - YORKTON

Roll Status
2020 - Roll Confirmed

Last Published
Thu Jan 07 2021

Report Year
2020

Method of Valuation
C.A.M.A. - Cost

Reviewed Date
June 23, 2020

Land

Urban

2.078 Acres

Residential Buildings

Outbuildings

Total Living Area
0 SQ FT

Garage
No

Deck
Yes

Other Residential Buildings
No

Finished Basement
NA

Unfinished Allowance
None

Commercial Buildings

M&S Sec. 11 - Apartments, Clubs, Hotels

TRA Area of Main Building
11,034 SQ FT

Year Built of Main Building
1975

Other Commercial Buildings
No

Values

Non-Agricultural

Assessed Value
$454,200

Taxable Value
$454,200

Exempt Value
$0

Tax Class

Comm & Industrial Other

Percentage of Value
100%

Tax Status
Taxable

Improvement

Assessed Value
$1,770,100

Taxable Value
$1,770,100

Exempt Value
$0

Tax Class
Comm & Industrial Other

Percentage of Value
100%

Tax Status
Taxable

Totals

$2,224,300
Assessed Values

$2,224,300
Taxable Values

$0
Exempt Values

Need more information?

Purchase additional reports below

Property Report

Lists property attributes used to determine the property's value

MySAMA

General Property Overview

YORKT-515051800

$1,726,400

2021 Roll Year 2020 Roll Year

Overview

Civic Address
110 Broadway St E

Legal Land Description
Lot PT C-D Block 05 Plan CG1523 Sup 00

Title Acres
NA

Municipality
YORKT - YORKTON

Roll Status
2021 - Revaluation

Last Published
Wed Mar 31 2021

Report Year
2021

Method of Valuation
C.A.M.A. - Cost

Reviewed Date
June 23, 2020

Land

Urban

2.078 Acres

Residential Buildings

Outbuildings

Total Living Area
0 SQ FT

Garage
No

Deck
Yes

Other Residential Buildings
No

Finished Basement
NA

Unfinished Allowance
None

Commercial Buildings

M&S Sec. 11 - Apartments, Clubs, Hotels

TRA Area of Main Building
11,034 SQ FT

Year Built of Main Building
1975

Other Commercial Buildings
No

Values

Non-Agricultural

Assessed Value
$1,036,200

Taxable Value
$880,770

Exempt Value
$0

Tax Class

Comm & Industrial Other

Percentage of Value
85%

Tax Status
Taxable

Improvement

Assessed Value
$690,200

Taxable Value
$586,670

Exempt Value
$0

Tax Class
Comm & Industrial Other

Percentage of Value
85%

Tax Status
Taxable

Totals

$1,726,400
Assessed Values

$1,467,440
Taxable Values

$0
Exempt Values

Need more information?

Purchase additional reports below

Property Report

Lists property attributes used to determine the property's value

Attachment 6

ENVIRONMENTAL RISK INFORMATION SERVICES

DATABASE REPORT

Project Property:	*21602 ATAL* *110 Broadway St E* *Yorkton SK S3N*
Project No:	
Report Type:	*Standard Select Report*
Order No:	*21032400545*
Requested by:	*Hydrosphere Technologies*
Date Completed:	*March 29, 2021*

Environmental Risk Information Services
A division of Glacier Media Inc.
1.866.517.5204 | info@erisinfo.com | erisinfo.com

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Executive Summary

Property Information:

Project Property:	*21602 ATAL* *110 Broadway St E Yorkton SK S3N*
Project No:	

Coordinates:

Latitude:	*51.2097575*
Longitude:	*-102.4553275*
UTM Northing:	*5,676,228.49*
UTM Easting:	*677,739.82*
UTM Zone:	*13U*

Elevation:	*1,644 FT* *501.00 M*

Order Information:

Order No:	*21032400545*
Date Requested:	*March 24, 2021*
Requested by:	*Hydrosphere Technologies*
Report Type:	*Standard Select Report*

Historical/Products:

Insurance Products	*Fire Insurance Maps/Inspection Reports/Site Plans*

Executive Summary: Report Summary

Database	Name	Searched	Project Property	Within 0.25 km	Total
AUWR	Automobile Wrecking & Supplies	N	-	-	-
CDRY	Dry Cleaning Facilities	Y	0	0	0
CHM	Chemical Register	N	-	-	-
CNG	Compressed Natural Gas Stations	N	-	-	-
CONV	Convictions	N	-	-	-
DIS	Wastewater Dischargers	N	-	-	-
EEM	Environmental Effects Monitoring	Y	0	0	0
EHS	ERIS Historical Searches	N	-	-	-
EIIS	Environmental Issues Inventory System	N	-	-	-
ES	Environmental Spills (Sask Spills)	N	-	-	-
FCON	Federal Convictions	N	-	-	-
FCS	Contaminated Sites on Federal Land	N	-	-	-
FRST	Federal Identification Registry for Storage Tank Systems (FIRSTS)	N	-	-	-
GHG	Greenhouse Gas Emissions from Large Facilities	N	-	-	-
HMS	Hazardous Material Storage	N	-	-	-
HORW	Horizontal Wells	N	-	-	-
HSSS	Hazardous Substance Storage Sites	Y	0	2	2
HSST	Hazardous Substance Storage Tanks	Y	0	5	5
IAFT	Indian & Northern Affairs Fuel Tanks	N	-	-	-
ILOA	Intensive Livestock Operation Approvals	N	-	-	-
MINE	Canadian Mine Locations	N	-	-	-
MNR	Mineral Occurrences	N	-	-	-
NATE	National Analysis of Trends in Emergencies System (NATES)	N	-	-	-
NDFT	National Defense & Canadian Forces Fuel Tanks	N	-	-	-
NDSP	National Defense & Canadian Forces Spills	N	-	-	-
NDWD	National Defence & Canadian Forces Waste Disposal Sites	N	-	-	-
NEBI	National Energy Board Pipeline Incidents	N	-	-	-
NEBP	National Energy Board Wells	N	-	-	-
NEES	National Environmental Emergencies System (NEES)	N	-	-	-
NPCB	National PCB Inventory	Y	0	3	3
NPRI	National Pollutant Release Inventory	N	-	-	-
OGS	Upstream Oil & Gas Site Spills	N	-	-	-
OGW	Oil & Gas Wells	N	-	-	-
OGWW	Oil and Gas Wells	N	-	-	-
OIL GAS FACILITY	Oil & Gas Facilities	N	-	-	-
PAP	Canadian Pulp and Paper	N	-	-	-

Database	Name	Searched	Project Property	Within 0.25 km	Total
PCFT	***Parks Canada Fuel Storage Tanks***	*N*	-	-	-
PES	***Pesticide Register***	*N*	-	-	-
RST	***Retail Fuel Storage Tanks***	*Y*	*0*	*3*	*3*
SCT	***Scott's Manufacturing Directory***	*Y*	*0*	*3*	*3*
SPL	***Petroleum and Natural Gas Spill Report Directory***	*N*	-	-	-
WDS	***Waste Disposal Site Inventory***	*Y*	*0*	*0*	*0*
WWIS	***Water Well Information System***	*N*	-	-	-
		Total:	*0*	*16*	*16*

Executive Summary: Site Report Summary - Project Property

Map Key	DB	Company/Site Name	Address	Dir/Dist (m)	Elev diff (m)	Page Number

No records found in the selected databases for the project property.

Executive Summary: Site Report Summary - Surrounding Properties

Map Key	DB	Company/Site Name	Address	Dir/Dist (m)	Elev Diff (m)	Page Number
1	SCT	Peebles Machine Shop Ltd.	20 Seventh Ave S Yorkton SK S3N 0X4	ESE/81.6	-1.00	15
2	NPCB	CKOS- TV	95 East Broadway Yorkton SK	NW/95.6	1.00	15
2	NPCB	CKOS-TV	95 EAST BROADWAY YORKTON SK S3N 0L1	NW/95.6	1.00	16
3	HSST	DAVID DEDMAN PONTIAC BUICK GMC LTD.	62 ARGYLE ST. YORKTON SK S3N 0P6	SW/110.1	0.69	25
4	HSST	T & M SERVICE	78 BROADWAY ST. E. YORKTON SK S3N 0K9	W/175.5	3.00	25
5	SCT	Dream Cabinets Ltd.	80 Livingstone St Yorkton SK S3N 0R1	SW/209.0	1.69	26
6	HSST	K & W CAR WASH	60 7TH AVE. S. YORKTON SK S3N 2W8	SSE/230.3	-1.00	26
7	NPCB	GOVERNMENT OF SASKATCHEWAN	120 SMITH STREET YORKTON SK S3N 3V3	NNE/231.4	0.00	26
8	RST	YELLOW HEAD GAS BAR	206 BROADWAY ST E YORKTON SK S3N3K4	ESE/233.0	-2.00	26
8	RST	YELLOW HEAD GAS BAR	206 BROADWAY ST E YORKTON SK S3N 3K4	ESE/233.0	-2.00	27
9	HSSS	GDR MUFFLER SHOP INC.	55 7TH AVE. S. YORKTON SK S3N 3G2	SE/235.9	-2.00	27
10	HSST	FAS GAS YORKTON SERVICE #96	150 BROADWAY ST. E. YORKTON SK S3N 3K4	E/237.4	-2.00	27

Map Key	DB	Company/Site Name	Address	Dir/Dist (m)	Elev Diff (m)	Page Number
11	HSSS	ACKLANDS LTS. (YORKTON)	#15 4TH AVE. N. YORKTON SK S3N 2X3	WNW/243.4	3.00	27
11	SCT	Acklands-Grainger Inc.	15 Fourth Ave N Yorkton SK S3N 1A3	WNW/243.4	3.00	28
12	HSST	SHELL CANADA PRODUCTS LTD.	140 SMITH ST. E. YORKTON SK S3N 3Z7	NE/247.8	-1.00	28
12	RST	SHELL	140 SMITH ST E YORKTON SK S3N3Z7	NE/247.8	-1.00	29

Executive Summary: Summary By Data Source

HSSS - Hazardous Substance Storage Sites

A search of the HSSS database, dated 1989-Feb 2006* has found that there are 2 HSSS site(s) within approximately 0.25 kilometers of the project property.

Equal/Higher Elevation	Address	Direction	Distance (m)	Map Key
ACKLANDS LTS. (YORKTON)	#15 4TH AVE. N. YORKTON SK S3N 2X3	WNW	243.39	11

Lower Elevation	Address	Direction	Distance (m)	Map Key
GDR MUFFLER SHOP INC.	55 7TH AVE. S. YORKTON SK S3N 3G2	SE	235.92	9

HSST - Hazardous Substance Storage Tanks

A search of the HSST database, dated 1989-Feb 2006* has found that there are 5 HSST site(s) within approximately 0.25 kilometers of the project property.

Equal/Higher Elevation	Address	Direction	Distance (m)	Map Key
DAVID DEDMAN PONTIAC BUICK GMC LTD.	62 ARGYLE ST. YORKTON SK S3N 0P6	SW	110.07	3
T & M SERVICE	78 BROADWAY ST. E. YORKTON SK S3N 0K9	W	175.52	4

Lower Elevation	Address	Direction	Distance (m)	Map Key
K & W CAR WASH	60 7TH AVE. S. YORKTON SK S3N 2W8	SSE	230.35	6
FAS GAS YORKTON SERVICE #96	150 BROADWAY ST. E. YORKTON SK S3N 3K4	E	237.42	10

SHELL CANADA PRODUCTS LTD.	140 SMITH ST. E. YORKTON SK S3N 3Z7	NE	247.84	12

NPCB - National PCB Inventory

A search of the NPCB database, dated 1988-2008* has found that there are 3 NPCB site(s) within approximately 0.25 kilometers of the project property.

Equal/Higher Elevation	Address	Direction	Distance (m)	Map Key
CKOS- TV	95 East Broadway Yorkton SK	NW	95.59	2
CKOS-TV	95 EAST BROADWAY YORKTON SK S3N 0L1	NW	95.59	2
GOVERNMENT OF SASKATCHEWAN	120 SMITH STREET YORKTON SK S3N 3V3	NNE	231.37	7

RST - Retail Fuel Storage Tanks

A search of the RST database, dated 1999-Dec 31, 2020 has found that there are 3 RST site(s) within approximately 0.25 kilometers of the project property.

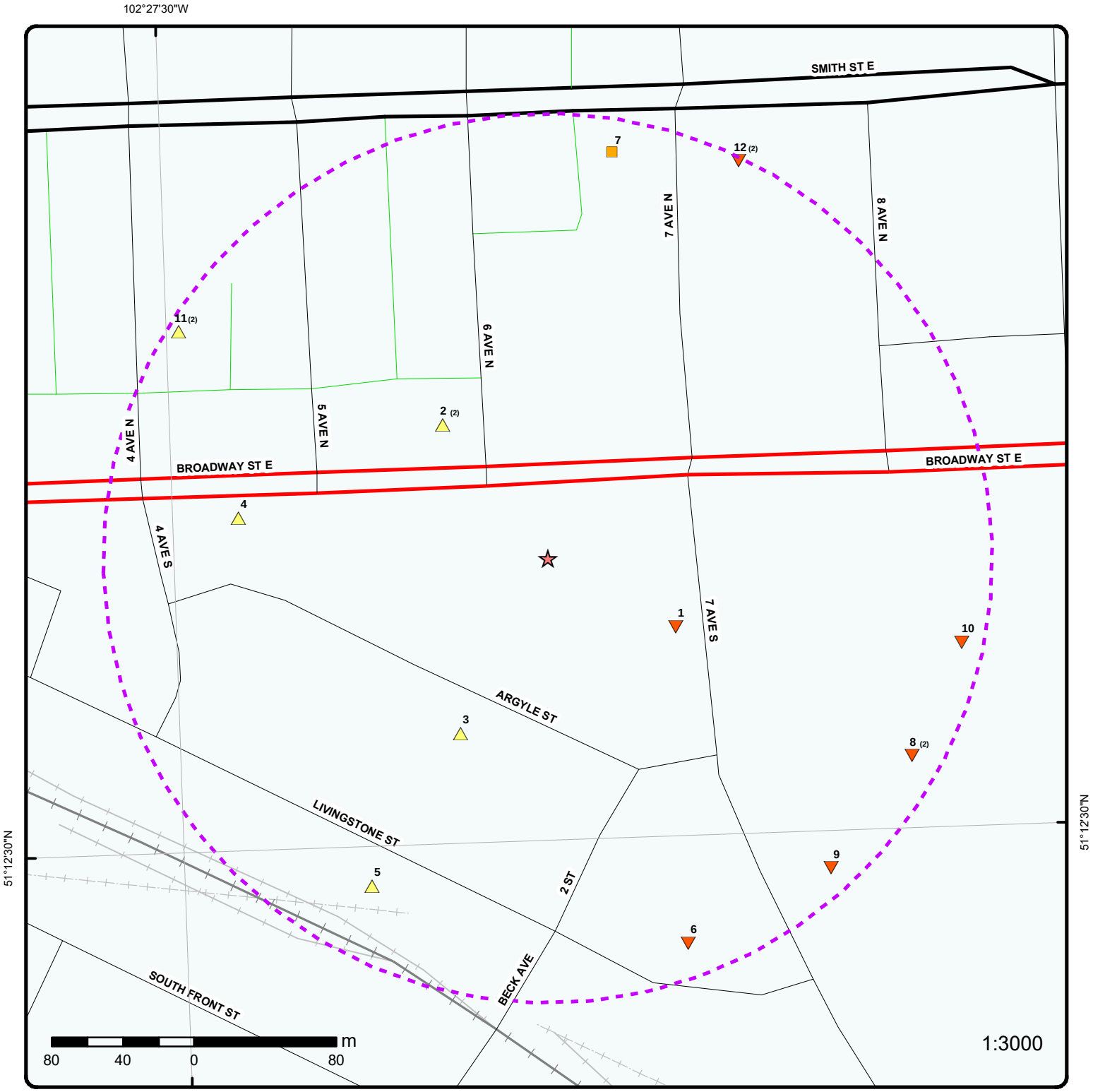
Lower Elevation	Address	Direction	Distance (m)	Map Key
YELLOW HEAD GAS BAR	206 BROADWAY ST E YORKTON SK S3N3K4	ESE	233.03	8
YELLOW HEAD GAS BAR	206 BROADWAY ST E YORKTON SK S3N 3K4	ESE	233.03	8
SHELL	140 SMITH ST E YORKTON SK S3N3Z7	NE	247.84	12

SCT - Scott's Manufacturing Directory

A search of the SCT database, dated 1992-Mar 2011* has found that there are 3 SCT site(s) within approximately 0.25 kilometers of the project property.

Equal/Higher Elevation	Address	Direction	Distance (m)	Map Key
Dream Cabinets Ltd.	80 Livingstone St Yorkton SK S3N 0R1	SW	208.95	5
Acklands-Grainger Inc.	15 Fourth Ave N Yorkton SK S3N 1A3	WNW	243.39	11

Lower Elevation	Address	Direction	Distance (m)	Map Key
Peebles Machine Shop Ltd.	20 Seventh Ave S Yorkton SK S3N 0X4	ESE	81.59	1



Map: 0.25 Kilometer Radius

Order Number: 21032400545

Address: 110 Broadway St E, Yorkton, SK

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ENVIRONMENTAL RISK INFORMATION SERVICES

Project Property	Expressway	Industrial and Resource - Regions	National Park
Buffer Outline	Principal Highway	Main Line	Provincial or Territorial Park
Eris Sites with Higher Elevation	Secondary Highway	Sidetrack	Other Park
Eris Sites with Same Elevation	Major Road	Transit Line	Golf Course or Driving Range
Eris Sites with Lower Elevation	Local road	Abandoned Line	Park or Sports Field
Eris Sites with Unknown Elevation	Trail		Other Recreation Area
	Proposed Road		
	Ferry Route/Ice Road		

Source: © 2015 DMTI Spatial Inc.

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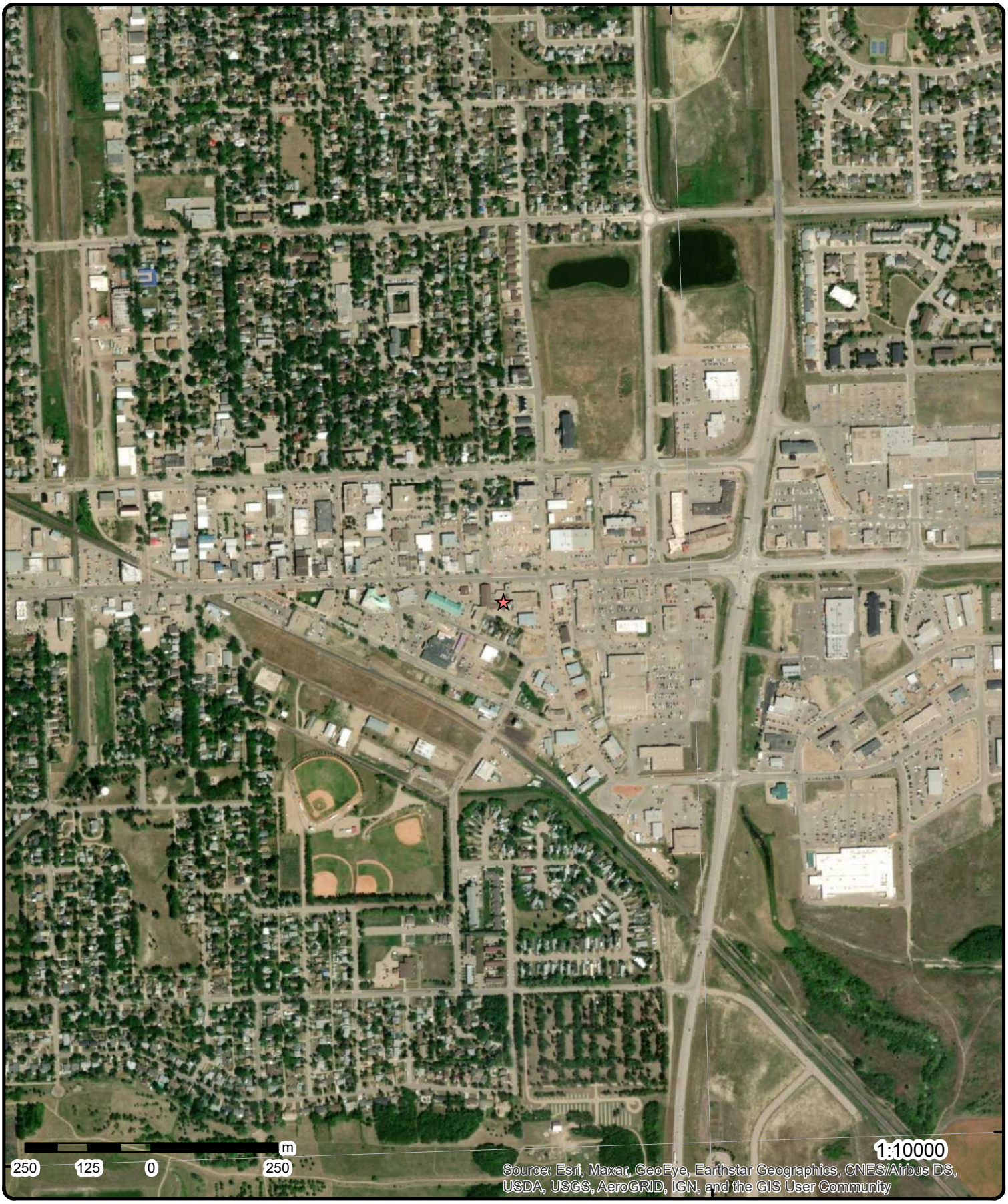

Aerial

Year: 2008

Address: 110 Broadway St E, Yorkton, SK

Source: ESRI World Imagery

Order Number: 21032400545

ERIS
ENVIRONMENTAL RISK INFORMATION SERVICES

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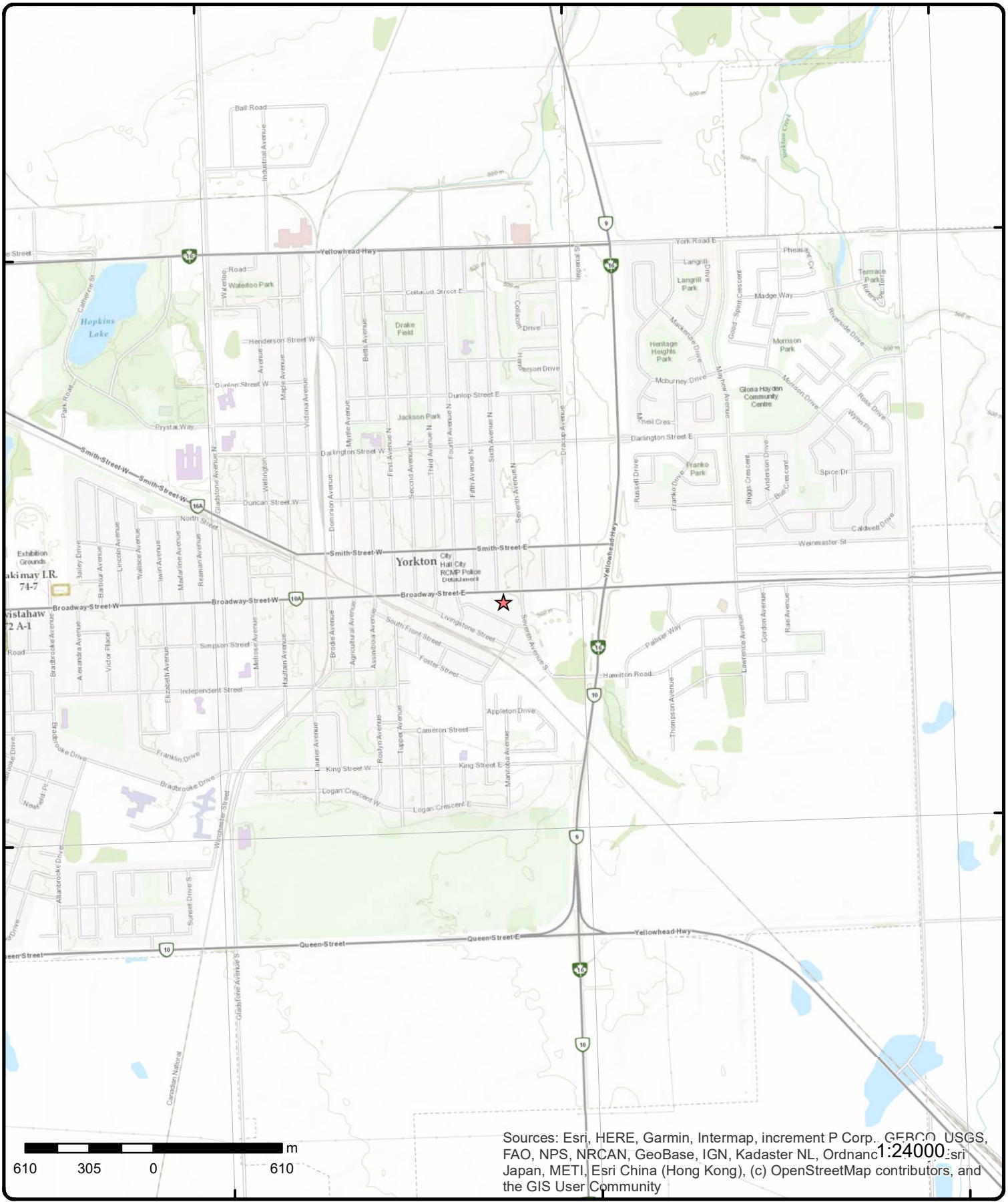

Topographic Map

Address: 110 Broadway St E, SK

Source: ESRI World Topographic Map

Order Number: 21032400545

ERIS
ENVIRONMENTAL RISK INFORMATION SERVICES

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Detail Report

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
1	1 of 1	ESE/81.6	500.0 / -1.00	Peebles Machine Shop Ltd. 20 Seventh Ave S Yorkton SK S3N 0X4	SCT

Established: 01-DEC-72
Plant Size (ft²):
Employment:

--Details--
Description: Machine Shops
SIC/NAICS Code: 332710

Description: Agricultural Implement Manufacturing
SIC/NAICS Code: 333110

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
2	1 of 2	NW/95.6	502.0 / 1.00	CKOS- TV 95 East Broadway Yorkton SK	NPCB

Company Code: U0241
Industry: Other
Site Status: Stored for Disposal
Transaction Date: 1/6/1995
Inspection Date:

--Details--
Label:
Serial No.:
PCB Type/Code: Askarel/Askarel
Location: Fone Hill storage site
Item/State:
No. of Items:
Manufacturer:
Status: Stored for disposal
Contents:

Label:
Serial No.:
PCB Type/Code: Askarel/Askarel
Location: Norquay site
Item/State:
No. of Items:
Manufacturer:
Status: Stored for disposal
Contents:

Label:
Serial No.:
PCB Type/Code: Askarel/Askarel
Location: Wynyard Transmitter Site
Item/State:
No. of Items:
Manufacturer:

Status: Stored for disposal
Contents:

Label:
Serial No.:
PCB Type/Code: Askarel/Clorinol
Location: Norquay site
Item/State:
No. of Items:
Manufacturer:
Status: Stored for disposal
Contents:

Label:
Serial No.:
PCB Type/Code: Askarel/Pyranol
Location: Fone Hill storage site
Item/State:
No. of Items:
Manufacturer:
Status: Stored for disposal
Contents:

2	2 of 2	NW/95.6	502.0 / 1.00	CKOS-TV 95 EAST BROADWAY YORKTON SK S3N 0L1	NPCB

Company Code: U0241
Industry: OTHER
Site Status:
Transaction Date: 4/9/1996
Inspection Date:

--Details--
Label: WN62208
Serial No.: 990193-29
PCB Type/Code: ASKAREL/CLORINOL
Location: NORQUAY SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 0.1 L

Label: WN62207
Serial No.: 7414
PCB Type/Code: ASKAREL/ASKAREL
Location: NORQUAY SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: DAYTON
Status: STORED FOR DISPOSAL
Contents: 0.23 L

Label: WN62217
Serial No.: 14F821
PCB Type/Code: ASKAREL/ASKAREL
Location: NORQUAY SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: GE
Status: STORED FOR DISPOSAL
Contents: 1.7 L

Label: WN62209
Serial No.: 990193-29
PCB Type/Code: ASKAREL/CLORINOL
Location: NORQUAY SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 0.1 L

Label: WN62210
Serial No.: 990193-29
PCB Type/Code: ASKAREL/CLORINOL
Location: NORQUAY SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 0.1 L

Label: WN62211
Serial No.: 990193-29
PCB Type/Code: ASKAREL/CLORINOL
Location: NORQUAY SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 0.1 L

Label: WN62130
Serial No.: LK 40 106A,4000
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: PLASTIC CAP. LTD.
Status: STORED FOR DISPOSAL
Contents: 1.92 L

Label: WN62205
Serial No.: 7414
PCB Type/Code: ASKAREL/ASKAREL
Location: NORQUAY SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: DAYTON
Status: STORED FOR DISPOSAL
Contents: 0.23 L

Label: WN62125
Serial No.: LK 40 106A,4000
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: PLASTIC CAP. LTD.
Status: STORED FOR DISPOSAL
Contents: 1.92 L

Label: WN62137
Serial No.: T30020X,3000 VD
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL

No. of Items:	1
Manufacturer:	
Status:	STORED FOR DISPOSAL
Contents:	0.2 L
Label:	WN62124
Serial No.:	14F413, 5000 VD
PCB Type/Code:	ASKAREL/PYRANOL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	GE
Status:	STORED FOR DISPOSAL
Contents:	2.67 L
Label:	WN62123
Serial No.:	14F413, 5000 VD
PCB Type/Code:	ASKAREL/PYRANOL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	GE
Status:	STORED FOR DISPOSAL
Contents:	2.67 L
Label:	WN62104
Serial No.:	14F821, 7500 VD
PCB Type/Code:	ASKAREL/PYRANOL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	GE
Status:	STORED FOR DISPOSAL
Contents:	3.03 L
Label:	WN62122
Serial No.:	ADC12M5, 1200 V
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	PLASTICON
Status:	STORED FOR DISPOSAL
Contents:	8 L
Label:	WN62111
Serial No.:	CR24 6530, 4000
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	SPRAGUE
Status:	STORED FOR DISPOSAL
Contents:	0.33 L
Label:	WN62120
Serial No.:	ADC12M5, 12000
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	PLASTICON
Status:	STORED FOR DISPOSAL
Contents:	8 L
Label:	WN62118

Serial No.: Y8732, 4000 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 5.87 L

Label: WN62117
Serial No.: Y8732, 4000 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 5.87 L

Label: WN62116
Serial No.: Y8732, 4000 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 5.87 L

Label: WN62115
Serial No.: Y8732, 4000 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 5.87 L

Label: WN62136
Serial No.: CR-43, 3000 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 0.27 L

Label: WN62114
Serial No.: 2509M, 2500 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: AEROVOX
Status: STORED FOR DISPOSAL
Contents: 0.82 L

Label: WN62134
Serial No.: KDMC 8M4-1,8000
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: PLASTICON

Status: STORED FOR DISPOSAL
Contents: 1.06 L

Label: WN62112
Serial No.: 26F511, 10000 V
PCB Type/Code: ASKAREL/PYRANOL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: GE
Status: STORED FOR DISPOSAL
Contents: 0.37 L

Label: WN62131
Serial No.: 22F157, 1500 VD
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: GE
Status: STORED FOR DISPOSAL
Contents: 0.4 L

Label: WN62110
Serial No.: 23F710, 600 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: GE
Status: STORED FOR DISPOSAL
Contents: 0.32 L

Label: WN62212
Serial No.: 23F1098G2
PCB Type/Code: ASKAREL/ASKAREL
Location: NORQUAY SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: GE
Status: STORED FOR DISPOSAL
Contents: 0.2 L

Label: WN62213
Serial No.: 23F1060G2
PCB Type/Code: ASKAREL/ASKAREL
Location: NORQUAY SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: GE
Status: STORED FOR DISPOSAL
Contents: 0.2 L

Label: WN62206
Serial No.: 7414
PCB Type/Code: ASKAREL/ASKAREL
Location: NORQUAY SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: DAYTON
Status: STORED FOR DISPOSAL
Contents: 0.23 L

Label: WN62216
Serial No.: 14F821
PCB Type/Code: ASKAREL/ASKAREL

Location:	NORQUAY SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	GE
Status:	STORED FOR DISPOSAL
Contents:	1.7 L

Label:	WN62214
Serial No.:	14F858
PCB Type/Code:	ASKAREL/ASKAREL
Location:	NORQUAY SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	GE
Status:	STORED FOR DISPOSAL
Contents:	1.6 L

Label:	WN62215
Serial No.:	14F858
PCB Type/Code:	ASKAREL/ASKAREL
Location:	NORQUAY SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	GE
Status:	STORED FOR DISPOSAL
Contents:	1.6 L

Label:	WN62109
Serial No.:	LK40-106, 4000
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	PLASTIC CAP. INC.
Status:	STORED FOR DISPOSAL
Contents:	0.32 L

Label:	WN62108
Serial No.:	23F397, 2500 VD
PCB Type/Code:	ASKAREL/PYRANOL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	GE
Status:	STORED FOR DISPOSAL
Contents:	0.34 L

Label:	WN62107
Serial No.:	TJL-25100S-1,25
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	CORNELL-DUBILLER
Status:	STORED FOR DISPOSAL
Contents:	0.35 L

Label:	WN62106
Serial No.:	P09M556, 3000 V
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	AEROVOX
Status:	STORED FOR DISPOSAL
Contents:	0.68 L

Label: WN62135
Serial No.: 2009D, 2000 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: AEROVOX
Status: STORED FOR DISPOSAL
Contents: 0.27 L

Label: WN62133
Serial No.: KMDC 8M4-1, 800
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: PLASTICON
Status: STORED FOR DISPOSAL
Contents: 1.06 L

Label: WN62132
Serial No.: 22F157, 1500 VD
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: GE
Status: STORED FOR DISPOSAL
Contents: 0.4 L

Label: WN62113
Serial No.: 2509M, 2500 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: AEROVOX
Status: STORED FOR DISPOSAL
Contents: 0.82 L

Label: WN47273
Serial No.: B67661, 4000 VD
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: GE
Status: STORED FOR DISPOSAL
Contents: 1.25 L

Label: WN62121
Serial No.: ADC12M5, 12000
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: PLASTICON
Status: STORED FOR DISPOSAL
Contents: 8 L

Label: WN47276
Serial No.: 6340, 4000VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL

No. of Items:	1
Manufacturer:	AEROVOX
Status:	STORED FOR DISPOSAL
Contents:	0.47 L
Label:	WN62105
Serial No.:	P09M556, 3000 V
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	AEROVOX
Status:	STORED FOR DISPOSAL
Contents:	0.68 L
Label:	WN47274
Serial No.:	B6783, 4000VDC
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	GE
Status:	STORED FOR DISPOSAL
Contents:	1.25 L
Label:	WN47277
Serial No.:	6352, 4000 VDC
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	AEROVOX
Status:	STORED FOR DISPOSAL
Contents:	0.47 L
Label:	WN47278
Serial No.:	6352, 4000 VDC
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	AEROVOX
Status:	STORED FOR DISPOSAL
Contents:	0.47 L
Label:	WN47279
Serial No.:	804, 6000 VDC
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	AEROVOX
Status:	STORED FOR DISPOSAL
Contents:	0.46 L
Label:	WN47280
Serial No.:	7414, 6000 VDC
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	GE
Status:	STORED FOR DISPOSAL
Contents:	0.48 L
Label:	WN47281

Serial No.: 7250, 6000 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE NABUFACTURER:SANGAMO
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer:
Status: STORED FOR DISPOSAL
Contents: 0.52 L

Label: WN47282
Serial No.: ?. 6000 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SANGAMO
Status: STORED FOR DISPOSAL
Contents: 0.52 L

Label: WN47283
Serial No.: Y48112, 4000 VD
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 3.02 L

Label: WN47284
Serial No.: Y48112, 6000 VD
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE
Status: STORED FOR DISPOSAL
Contents: 3.02 L

Label: WN57488
Serial No.: AOC12M5, 12000
PCB Type/Code: ASKAREL/ASKAREL
Location: WYNYARD TRANSMITTER SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: PLASTICON
Status: STORED FOR DISPOSAL
Contents: 2.67 L

Label: WN47275
Serial No.: B67667, 4000 VD
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: GE
Status: STORED FOR DISPOSAL
Contents: 1.25 L

Label: WN62103
Serial No.: Y8732, 4000 VDC
PCB Type/Code: ASKAREL/ASKAREL
Location: FONE HILL STORAGE SITE
Item/State: CAPACITOR/FULL
No. of Items: 1
Manufacturer: SPRAGUE

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB

Status:	STORED FOR DISPOSAL
Contents:	1.43 L
Label:	WN62102
Serial No.:	2509M 226, 2500
PCB Type/Code:	ASKAREL/ASKAREL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	AEROVOX
Status:	STORED FOR DISPOSAL
Contents:	0.47 L
Label:	WN62101
Serial No.:	23F937, 5000 VD
PCB Type/Code:	ASKAREL/PYRANOL
Location:	FONE HILL STORAGE SITE
Item/State:	CAPACITOR/FULL
No. of Items:	1
Manufacturer:	GE
Status:	STORED FOR DISPOSAL
Contents:	0.39 L

3	*1 of 1*	*SW/110.1*	*501.7 / 0.69*	***DAVID DEDMAN PONTIAC BUICK GMC LTD.*** ***62 ARGYLE ST.*** ***YORKTON SK S3N 0P6***	***HSST***

Facility Code:	RE - 281
Business Desc:	Repair Shop
Application Date:	10/3/1992

--Details--

Type:	ABOVE GROUND
Tank Contents Desc:	WASTE OIL
Capacity (L):	2500
Other Contents:	
Tank Installed:	

4	*1 of 1*	*W/175.5*	*504.0 / 3.00*	***T & M SERVICE*** ***78 BROADWAY ST. E.*** ***YORKTON SK S3N 0K9***	***HSST***

Facility Code:	SE - 927
Business Desc:	Service Station
Application Date:	9/1/1989

--Details--

Type:	Underground
Tank Contents Desc:	DIESEL
Capacity (L):	14000
Other Contents:	
Tank Installed:	1963
Type:	Underground
Tank Contents Desc:	GASOLINE (MOTOR)
Capacity (L):	14000
Other Contents:	
Tank Installed:	1963
Type:	Underground
Tank Contents Desc:	GASOLINE (MOTOR)

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB

Capacity (L):	23000
Other Contents:	
Tank Installed:	1963
Type:	Underground
Tank Contents Desc:	GASOLINE (MOTOR)
Capacity (L):	32000
Other Contents:	
Tank Installed:	1975

5	*1 of 1*	*SW/209.0*	*502.7 / 1.69*	***Dream Cabinets Ltd.*** ***80 Livingstone St*** ***Yorkton SK S3N 0R1***	***SCT***

Established:	1/1/1978
Plant Size (ft²):	4800
Employment:	

--Details--

Description:	Wood Kitchen Cabinet and Counter Top Manufacturing
SIC/NAICS Code:	337110

6	*1 of 1*	*SSE/230.3*	*500.0 / -1.00*	***K & W CAR WASH*** ***60 7TH AVE. S.*** ***YORKTON SK S3N 2W8***	***HSST***

Facility Code:	OT - 1754
Business Desc:	Other
Application Date:	4/5/1993

--Details--

Type:	Underground
Tank Contents Desc:	GASOLINE (MOTOR)
Capacity (L):	13500
Other Contents:	
Tank Installed:	

7	*1 of 1*	*NNE/231.4*	*501.0 / 0.00*	***GOVERNMENT OF SASKATCHEWAN*** ***120 SMITH STREET*** ***YORKTON SK S3N 3V3***	***NPCB***

Company Code:	U0054
Industry:	GOVERNMENT (NOT FEDERAL)
Site Status:	
Transaction Date:	8/12/1989
Inspection Date:	

8	*1 of 2*	*ESE/233.0*	*499.0 / -2.00*	***YELLOW HEAD GAS BAR*** ***206 BROADWAY ST E*** ***YORKTON SK S3N3K4***	***RST***

Headcode:	1186800
Headcode Desc:	Service Stations-Gasoline, Oil & Natural Gas
Phone:	3067867917
List Name:	
Description:	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB

8 | **2 of 2** | **ESE/233.0** | **499.0 / -2.00** | **YELLOW HEAD GAS BAR**
206 BROADWAY ST E
YORKTON SK S3N 3K4 | **RST**

Headcode: 1186800
Headcode Desc: Service Stations-Gasoline, Oil & Natural Gas
Phone: 3067867917
List Name:
Description:

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9 | **1 of 1** | **SE/235.9** | **499.0 / -2.00** | **GDR MUFFLER SHOP INC.**
55 7TH AVE. S.
YORKTON SK S3N 3G2 | **HSSS**

Facility Code: RE - 276
Site Number: W - 2
Application Date: 10/1/1992
Contents: Leachable toxic waste, L-17 (lead)
Storage Area (m²): 465
Storage Type: Warehouse

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10 | **1 of 1** | **E/237.4** | **499.0 / -2.00** | **FAS GAS YORKTON SERVICE #96**
150 BROADWAY ST. E.
YORKTON SK S3N 3K4 | **HSST**

Facility Code: SE - 536
Business Desc: Service Station
Application Date: 8/22/1989

--Details--
Type: Underground
Tank Contents Desc: GASOLINE (MOTOR)
Capacity (L): 35000
Other Contents:
Tank Installed: 1988

Type: Underground
Tank Contents Desc: GASOLINE (MOTOR)
Capacity (L): 35000
Other Contents:
Tank Installed: 1988

Type: Underground
Tank Contents Desc: GASOLINE (MOTOR)
Capacity (L): 35000
Other Contents:
Tank Installed: 1988

Type: Underground
Tank Contents Desc: DIESEL
Capacity (L): 25000
Other Contents:
Tank Installed: 1988

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11 | **1 of 2** | **WNW/243.4** | **504.0 / 3.00** | **ACKLANDS LTS. (YORKTON)**
#15 4TH AVE. N.
YORKTON SK S3N 2X3 | **HSSS**

Facility Code: RE - 17
Site Number: W - 2
Storage Area (m²): 530
Storage Type: Warehouse

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB

Application Date: 10/22/1992
Contents: WASTE BATTERY

11	2 of 2	WNW/243.4	504.0 / 3.00	Acklands-Grainger Inc. 15 Fourth Ave N Yorkton SK S3N 1A3	SCT

Established: 01-FEB-53
Plant Size (ft²):
Employment:

--Details--
Description: Plumbing, Heating and Air-Conditioning Equipment and Supplies Wholesaler-Distributors
SIC/NAICS Code: 416120

Description: Service Establishment Machinery, Equipment and Supplies Wholesaler-Distributors
SIC/NAICS Code: 417920

Description: Electrical Wiring and Construction Supplies Wholesaler-Distributors
SIC/NAICS Code: 416110

Description: Chemical (except Agricultural) and Allied Product Wholesaler-Distributors
SIC/NAICS Code: 418410

Description: Industrial Machinery, Equipment and Supplies Wholesaler-Distributors
SIC/NAICS Code: 417230

Description: General-Line Building Supplies Wholesaler-Distributors
SIC/NAICS Code: 416310

Description: Other Paper and Disposable Plastic Product Wholesaler-Distributors
SIC/NAICS Code: 418220

Description: Other New Motor Vehicle Parts and Accessories Wholesaler-Distributors
SIC/NAICS Code: 415290

Description: Construction and Forestry Machinery, Equipment and Supplies Wholesaler-Distributors
SIC/NAICS Code: 417210

Description: All Other Miscellaneous Store Retailers (except Beer and Wine-Making Supplies Stores)
SIC/NAICS Code: 453999

Description: Industrial Machinery, Equipment and Supplies Wholesaler-Distributors
SIC/NAICS Code: 417230

Description: Hardware Wholesaler-Distributors
SIC/NAICS Code: 416330

Description: All Other Machinery, Equipment and Supplies Wholesaler-Distributors
SIC/NAICS Code: 417990

12	1 of 2	NE/247.8	500.0 / -1.00	SHELL CANADA PRODUCTS LTD. 140 SMITH ST. E. YORKTON SK S3N 3Z7	HSST

Facility Code: SE - 23
Business Desc: Service Station
Application Date: 6/19/1989

--Details--
Type: Underground

Tank Contents Desc:	GASOLINE (MOTOR)
Capacity (L):	45460
Other Contents:	
Tank Installed:	1989
Type:	Underground
Tank Contents Desc:	GASOLINE (MOTOR)
Capacity (L):	45460
Other Contents:	
Tank Installed:	1989
Type:	Underground
Tank Contents Desc:	GASOLINE (MOTOR)
Capacity (L):	22730
Other Contents:	
Tank Installed:	1989

12	*2 of 2*	*NE/247.8*	*500.0 / -1.00*	***SHELL*** ***140 SMITH ST E*** ***YORKTON SK S3N3Z7***	***RST***

Headcode:	01186800
Headcode Desc:	SERVICE STATIONS GASOLINE OIL
Phone:	3067820815
List Name:	Info-direct(TM) BUSINESS FILE
Description:	

Unplottable Summary

Total: 0 Unplottable sites

DB	Company Name/Site Name	Address	City	Postal

Unplottable Report

No unplottable records were found that may be relevant for the search criteria.

Appendix: Database Descriptions

Environmental Risk Information Services (ERIS) can search the following databases. The extent of historical information varies with each database and current information is determined by what is publicly available to ERIS at the time of update. ***Note:*** *Databases denoted with " * " indicates that the database will no longer be updated. See the individual database description for more information.*

Automobile Wrecking & Supplies: Private AUWR

This database provides an inventory of known locations that are involved in the scrap metal, automobile wrecking/recycling, and automobile parts & supplies industry. Information is provided on the company name, location and business type.

Government Publication Date: 1999-Dec 31, 2020

Dry Cleaning Facilities: Federal CDRY

List of dry cleaning facilities made available by Environment and Climate Change Canada. Environment and Climate Change Canada's Tetrachloroethylene (Use in Dry Cleaning and Reporting Requirements) Regulations (SOR/2003-79) are intended to reduce releases of tetrachloroethylene to the environment from dry cleaning facilities.

Government Publication Date: Jan 2004-Dec 2018

Chemical Register: Private CHM

This database includes a listing of locations of facilities within the Province or Territory that either manufacture and/or distributes chemicals.

Government Publication Date: 1999-Dec 31, 2020

Compressed Natural Gas Stations: Private CNG

Canada has a network of public access compressed natural gas (CNG) refuelling stations. These stations dispense natural gas in compressed form at 3,000 pounds per square inch (psi), the pressure which is allowed within the current Canadian codes and standards. The majority of natural gas refuelling is located at existing retail gasoline that have a separate refuelling island for natural gas. This list of stations is made available by the Canadian Natural Gas Vehicle Alliance.

Government Publication Date: Dec 2012 -Dec 2020

Convictions: Provincial CONV

This database summarizes the penalties and convictions handed down by the Saskatchewan courts. Companies and individuals that have been found guilty of environmental offenses under Saskatchewan's Environmental Protection Legislation are listed in this database. The records in this database are associated with the City the offense took place and are not plotted.

Government Publication Date: 1995-Aug 31, 2020

Wastewater Dischargers: Provincial DIS

This database is maintained by SERM and supplies the locations of the wastewater dischargers in the province. The geographic coordinates have been provided in DLS (Dominion Land Survey) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the LSD or Quarter section only.

Government Publication Date: 2000-Oct 2016

Environmental Effects Monitoring: Federal EEM

The Environmental Effects Monitoring program assesses the effects of effluent from industrial or other sources on fish, fish habitat and human usage of fisheries resources. Since 1992, pulp and paper mills have been required to conduct EEM studies under the Pulp and Paper Effluent Regulations. This database provides information on the mill name, geographical location and sub-lethal toxicity data.

Government Publication Date: 1992-2007*

ERIS Historical Searches: Private EHS

ERIS has compiled a database of all environmental risk reports completed since March 1999. Available fields for this database include: site location, date of report, type of report, and search radius. As per all other databases, the ERIS database can be referenced on both the map and "Statistical Profile" page.

Government Publication Date: 1999-Oct 31, 2020

Environmental Issues Inventory System: Federal EIIS

The Environmental Issues Inventory System was developed through the implementation of the Environmental Issues and Remediation Plan. This plan was established to determine the location and severity of contaminated sites on inhabited First Nation reserves, and where necessary, to remediate those that posed a risk to health and safety; and to prevent future environmental problems. The EIIS provides information on the reserve under investigation, inventory number, name of site, environmental issue, site action (Remediation, Site Assessment), and date investigation completed.

Government Publication Date: 1992-2001*

Environmental Spills (Sask Spills): Provincial ES

This database includes an inventory of known spills that occurred throughout the province and that are reported under regulation R.R.S. c. D-14, Reg. 1. Some of the geographic coordinates have been provided in DLS (Dominion Land Survey) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the LSD or Quarter section only.

Government Publication Date: 1977-Jan 2021

Federal Convictions: Federal FCON

Environment Canada maintains a database referred to as the "Environmental Registry" that details prosecutions under the Canadian Environmental Protection Act (CEPA) and the Fisheries Act (FA). Information is provided on the company name, location, charge date, offence and penalty.

Government Publication Date: 1988-Jun 2007*

Contaminated Sites on Federal Land: Federal FCS

The Federal Contaminated Sites Inventory includes information on known federal contaminated sites under the custodianship of departments, agencies and consolidated Crown corporations as well as those that are being or have been investigated to determine whether they have contamination arising from past use that could pose a risk to human health or the environment. The inventory also includes non-federal contaminated sites for which the Government of Canada has accepted some or all financial responsibility. It does not include sites where contamination has been caused by, and which are under the control of, enterprise Crown corporations, private individuals, firms or other levels of government. Includes fire training sites and sites at which Per- and Polyfluoroalkyl Substances (PFAS) are a concern.

Government Publication Date: Jun 2000-Jan 2021

Federal Identification Registry for Storage Tank Systems (FIRSTS): Federal FRST

A list of federally regulated Storage tanks from the Federal Identification Registry for Storage Tank Systems (FIRSTS). FIRSTS is Environment and Climate Change Canada's database of storage tank systems subject to the Storage Tank for Petroleum Products and Allied Petroleum Products Regulations. The main objective of the Regulations is to prevent soil and groundwater contamination from storage tank systems located on federal and aboriginal lands. Storage tank systems that do not have a valid identification number displayed in a readily visible location on or near the storage tank system may be refused product delivery.

Government Publication Date: May 31, 2018

Greenhouse Gas Emissions from Large Facilities: Federal GHG

List of greenhouse gas emissions from large facilities made available by Environment Canada. Greenhouse gas emissions in kilotonnes of carbon dioxide equivalents (kt CO2 eq).

Government Publication Date: 2013-Dec 2018

Hazardous Material Storage: Provincial HMS

The Saskatchewan Hazardous Materials Storage Program collects this information. With the approval of the Ministry of Environment, hazardous substances and waste dangerous goods can be stored in underground storage tanks, above-ground storage tanks, outdoor storage site and warehouse/indoor storage sites. A hazardous substance/waste is defined as a substance/waste that because of its quantity, concentration or physical, chemical or infectious characteristics, either individually or in combination with other substances, is an existing or potential threat to the environment or human health. This inventory includes information on operator ID, operation name, address, legal land description and operation status.

Government Publication Date: 1980 - Jan 31, 2021

Horizontal Wells: Provincial HORW

Saskatchewan Industry and Resources maintains an inventory of horizontal wells drilled in the province. The database provides detailed information in regard to well name, owner name, status, license no., initial and final drilling date, well type, horizon name and pool name.

Government Publication Date: Aug 1987-Jun 2007*

Hazardous Substance Storage Sites: Provincial HSSS

This is an inventory of hazardous substance storage sites that must be registered under regulation 25/92, S. 3. The database is a catalog of information on the location of outdoor and warehouse sites, housing hazardous products used by companies in the agricultural, chemical, farming, warehousing, trucking, waste recycling, distribution, service stations/repair shops, bulk stations, autobody, mining, and manufacturing industry. Information is provided on the type of product(s) stored, application date, company name, location, and the type of business service operated on site. For current information, please refer to the HMS database.

Government Publication Date: 1989-Feb 2006*

Hazardous Substance Storage Tanks: Provincial HSST

This is an inventory of hazardous substance storage tanks that must be registered under regulation 25/92, S. 3. The database is a compilation of information on aboveground and underground storage tanks that hold substances such as gasoline, diesel, chemicals, heating oil, kerosene and alcohol blended products. Information is provided on the contents and capacity of the tank, company name, location, and the type of business service operated on site. For current information, please refer to the HMS database.

Government Publication Date: 1989-Feb 2006*

Indian & Northern Affairs Fuel Tanks: Federal IAFT

The Department of Indian & Northern Affairs Canada (INAC) maintains an inventory of aboveground & underground fuel storage tanks located on both federal and crown land. Our inventory provides information on the reserve name, location, facility type, site/facility name, tank type, material & ID number, tank contents & capacity, and date of tank installation.

Government Publication Date: 1950-Aug 2003*

Intensive Livestock Operation Approvals: Provincial ILOA

Under the Agricultural Operations Act, certain types of intensive livestock operations are required to obtain plan approval. Approvals are subject to the size of operation and their proximity to a water source. Those requiring plan approvals must submit documentation regarding manure storage, utilization of manure nutrients and disposal method for dead animals. Sask. Agriculture, Food and Rural Revitalization maintains a database of approvals issued over the last three decades, for operations that may or may not be currently operational. An ILO plan approval may have been issued to an intensive livestock operation but never been constructed, been approved and not constructed yet, or it may have been constructed and later discontinued. There is no distinction in the database between operational and non-operational sites. Please note that the value "Sum of Animal Units" is a calculation used to compare different types of livestock operations (each type of animal is rated on a scale). Geographic coordinates were provided in DLS (Dominion Land Survey) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the Quarter section only.

Government Publication Date: 1971-Apr 2020

Canadian Mine Locations: Private MINE

This information is collected from the Canadian & American Mines Handbook. The Mines database is a national database that provides over 290 listings on mines (listed as public companies) dealing primarily with precious metals and hard rocks. Listed are mines that are currently in operation, closed, suspended, or are still being developed (advanced projects). Their locations are provided as geographic coordinates (x, y and/or longitude, latitude). As of 2002, data pertaining to Canadian smelters and refineries has been appended to this database.

Government Publication Date: 1998-2009*

Mineral Occurrences: Provincial MNR

Saskatchewan Energy and Mines maintains an inventory of 2890 separate mineral occurrences in the "Saskatchewan Mineral Deposit Index" regarding metallic, industrial mineral and coal deposits. Information within the database pertains to the SMDI No., showing name, location, commodity, deposit type, status, classification and geographical reference data. For additional information regarding geological data and exploration history, please contact the office and quote the SMDI No.

Government Publication Date: 1981-Feb 2021

National Analysis of Trends in Emergencies System (NATES): Federal NATE

In 1974 Environment Canada established the National Analysis of Trends in Emergencies System (NATES) database, for the voluntary reporting of significant spill incidents. The data was to be used to assist in directing the work of the emergencies program. NATES ran from 1974 to 1994. Extensive information is available within this database including company names, place where the spill occurred, date of spill, cause, reason and source of spill, damage incurred, and amount, concentration, and volume of materials released.

Government Publication Date: 1974-1994*

National Defense & Canadian Forces Fuel Tanks: Federal NDFT

The Department of National Defense and the Canadian Forces maintains an inventory of all aboveground & underground fuel storage tanks located on DND lands. Our inventory provides information on the base name, location, tank type & capacity, tank contents, tank class, date of tank installation, date tank last used, and status of tank as of May 2001. This database will no longer be updated due to the new National Security protocols which have prohibited any release of this database.

Government Publication Date: Up to May 2001*

National Defense & Canadian Forces Spills: Federal NDSP

The Department of National Defense and the Canadian Forces maintains an inventory of spills to land and water. All spill sites have been classified under the "Transportation of Dangerous Goods Act - 1992". Our inventory provides information on the facility name, location, spill ID #, spill date, type of spill, as well as the quantity of substance spilled & recovered.

Government Publication Date: Mar 1999-Apr 2018

National Defence & Canadian Forces Waste Disposal Sites: Federal NDWD

The Department of National Defence and the Canadian Forces maintains an inventory of waste disposal sites located on DND lands. Where available, our inventory provides information on the base name, location, type of waste received, area of site, depth of site, year site opened/closed and status.

Government Publication Date: 2001-Apr 2007*

National Energy Board Pipeline Incidents: Federal NEBI

Locations of pipeline incidents from 2008 to present, made available by the Canada Energy Regulator (CER) - previously the National Energy Board (NEB). Includes incidents reported under the Onshore Pipeline Regulations and the Processing Plant Regulations related to pipelines under federal jurisdiction, does not include incident data related to pipelines under provincial or territorial jurisdiction.

Government Publication Date: 2008-Dec 31, 2020

National Energy Board Wells: Federal NEBP

The NEBW database contains information on onshore & offshore oil and gas wells that are outside provincial jurisdiction(s) and are thereby regulated by the National Energy Board. Data is provided regarding the operator, well name, well ID No./UWI, status, classification, well depth, spud and release date.

Government Publication Date: 1920-Feb 2003*

National Environmental Emergencies System (NEES): Federal NEES

In 2000, the Emergencies program implemented NEES, a reporting system for spills of hazardous substances. For the most part, this system only captured data from the Atlantic Provinces, some from Quebec and Ontario and a portion from British Columbia. Data for Alberta, Saskatchewan, Manitoba and the Territories was not captured. However, NEES is also a repository for previous Environment Canada spill datasets. NEES is composed of the historic datasets ' or Trends ' which dates from approximately 1974 to present. NEES Trends is a compilation of historic databases, which were merged and includes data from NATES (National Analysis of Trends in Emergencies System), ARTS (Atlantic Regional Trends System), and NEES. In 2001, the Emergencies Program determined that variations in reporting regimes and requirements between federal and provincial agencies made national spill reporting and trend analysis difficult to achieve. As a consequence, the department has focused efforts on capturing data on spills of substances which fall under its legislative authority only (CEPA and FA). As such, the NEES database will be decommissioned in December 2004.

Government Publication Date: 1974-2003*

National PCB Inventory: Federal NPCB

Environment Canada's National PCB inventory includes information on in-use PCB containing equipment in Canada including federal, provincial and private facilities. Federal out-of-service PCB containing equipment and PCB waste owned by the federal government or by federally regulated industries such as airlines, railway companies, broadcasting companies, telephone and telecommunications companies, pipeline companies, etc. are also listed. Although it is not Environment Canada's mandate to collect data on non-federal PCB waste, the National PCB inventory includes some information on provincial and private PCB waste and storage sites. Some addresses provided may be Head Office addresses and are not necessarily the location of where the waste is being used or stored.

Government Publication Date: 1988-2008*

National Pollutant Release Inventory: Federal NPRI

Environment Canada has defined the National Pollutant Release Inventory ("NPRI") as a federal government initiative designed to collect comprehensive national data regarding releases to air, water, or land, and waste transfers for recycling for more than 300 listed substances.

Government Publication Date: 1993-May 2017

Upstream Oil & Gas Site Spills: Provincial OGS

Saskatchewan Industry and Resource compiles spill information pertaining to crude oil, produced water and spills on upstream oil and gas facilities. Information includes location, date of spill, substance spilled, total amount spilled and source.

Government Publication Date: 1990-Dec 31, 2020

Oil & Gas Wells: Provincial OGW

Well data includes well licences, drilling information, completion information, core analysis, drill stem tests, coordinate information, logs, casing details, etc. The data includes wells drilled under the Oil and Gas Conservation Regulations, 1985 as well as shallow structure test holes. The Oil and Gas Wells database is maintained by the Government of Saskatchewan.

Government Publication Date: Jul 31, 2020

Oil and Gas Wells: Private OGWW

The Nickle's Energy Group (publisher of the Daily Oil Bulletin) collects information on drilling activity including operator and well statistics. The well information database includes name, location, class, status and depth. The main Nickle's database is updated on a daily basis, however, this database is updated on a monthly basis. More information is available at www.nickles.com.

Government Publication Date: 1988-Nov 30, 2020

Oil & Gas Facilities: Provincial OIL GAS FACILITY

A list of oil and gas facilities licensed in Saskatchewan made available by the government of Saskatchewan. Includes new and active facilities, as well as those whose operational status is suspended.

Government Publication Date: Jan 2021

Canadian Pulp and Paper: Private PAP

This information is part of the Pulp and Paper Canada Directory. The Directory provides a comprehensive listing of the locations of pulp and paper mills and the products that they produce.

Government Publication Date: 1999, 2002, 2004, 2005, 2009-2014

Parks Canada Fuel Storage Tanks: Federal PCFT

Canadian Heritage maintains an inventory of known fuel storage tanks operated by Parks Canada, in both National Parks and at National Historic Sites. The database details information on site name, location, tank install/removal date, capacity, fuel type, facility type, tank design and owner/operator.

Government Publication Date: 1920-Jan 2005*

Pesticide Register: Provincial PES

Saskatchewan Agriculture and Food maintains a database of all vendors of registered pesticides.

Government Publication Date: 1998-Apr 2010

Retail Fuel Storage Tanks: Private RST

This database includes an inventory of retail fuel outlet locations (including marinas) that have on their property gasoline, oil, waste oil, natural gas and / or propane storage tanks.

Government Publication Date: 1999-Dec 31, 2020

Scott's Manufacturing Directory: Private SCT

Scott's Directories is a data bank containing information on over 200,000 manufacturers across Canada. Even though Scott's listings are voluntary, it is the most comprehensive database of Canadian manufacturers available. Information concerning a company's address, plant size, and main products are included in this database.

Government Publication Date: 1992-Mar 2011*

Petroleum and Natural Gas Spill Report Directory: Provincial SPL

List of spill locations and links to detail reports for spills data gathered under the reporting requirements of the Oil and Gas Conservation Regulations, 1985 and 2012. This list does not contain records of spills, incidents, or releases reported under other legislation or regulations. Made available by the Petroleum and Natural Gas Division of the Ministry of the Economy. Upstream oil and gas operators are required to notify and report any incidents that occur in the field to the Government of Saskatchewan's Ministry of Energy and Resources; incidents that have occurred since November 4, 2015 are reported in Upstream Oil & Gas Site Spills.

Government Publication Date: Feb 1961-Nov 4, 2015*

Waste Disposal Site Inventory: Provincial WDS

This inventory pertains to registered waste disposal sites within the province of Saskatchewan. Specific dates as to when the waste disposal site was activated are not available. The geographic coordinates have been provided in DLS (Dominion Land Survey) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the LSD or Quarter section only.

Government Publication Date: 2000-Jan 2021

Water Well Information System: Provincial WWIS

This database was collected from Saskatchewan Water, Water Resource Administration and contains over 100,000 records. The geographic coordinates have been provided in DLS (Dominion Land Survey) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the LSD or Quarter section only.

Government Publication Date: Jul 31, 2020

Definitions

Database Descriptions: This section provides a detailed explanation for each database including: source, information available, time coverage, and acronyms used. They are listed in alphabetic order.

Detail Report: This is the section of the report which provides the most detail for each individual record. Records are summarized by location, starting with the project property followed by records in closest proximity.

Distance: The distance value is the distance between plotted points, not necessarily the distance between the sites' boundaries. All values are an approximation.

Direction: The direction value is the compass direction of the site in respect to the project property and/or center point of the report.

Elevation: The elevation value is taken from the location at which the records for the site address have been plotted. All values are an approximation. Source: Google Elevation API.

Executive Summary: This portion of the report is divided into 3 sections:

'Report Summary'- Displays a chart indicating how many records fall on the project property and, within the report search radii.

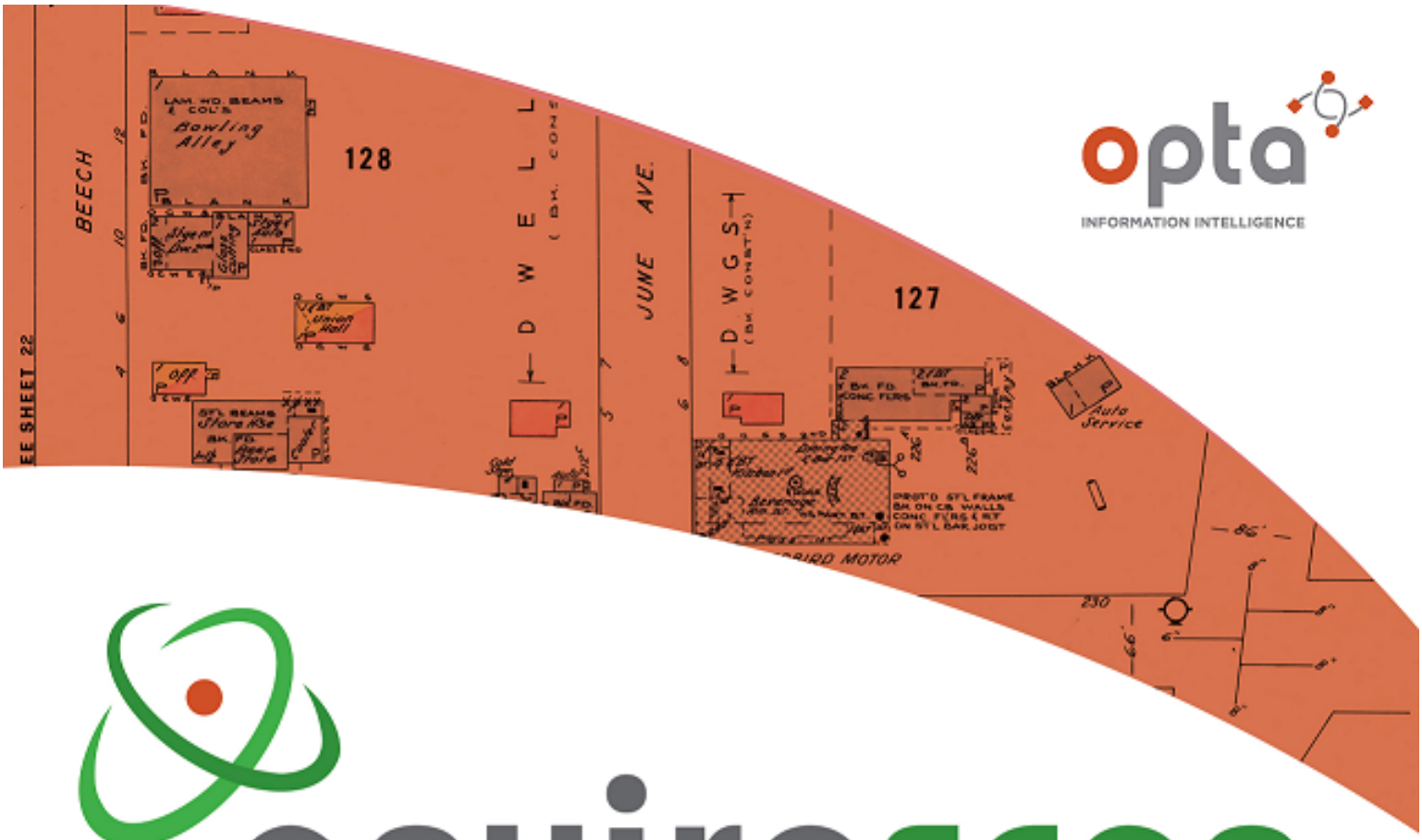
'Site Report Summary'-Project Property'- This section lists all the records which fall on the project property. For more details, see the 'Detail Report' section.

'Site Report Summary-Surrounding Properties'- This section summarizes all records on adjacent properties, listing them in order of proximity from the project property. For more details, see the 'Detail Report' section.

Map Key: The map key number is assigned according to closest proximity from the project property. Map Key numbers always start at #1. The project property will always have a map key of '1' if records are available. If there is a number in brackets beside the main number, this will indicate the number of records on that specific property. If there is no number in brackets, there is only one record for that property.

The symbol and colour used indicates 'elevation': the red inverted triangle will dictate 'ERIS Sites with Lower Elevation', the yellow triangle will dictate 'ERIS Sites with Higher Elevation' and the orange square will dictate 'ERIS Sites with Same Elevation.'

Unplottables: These are records that could not be mapped due to various reasons, including limited geographic information. These records may or may not be in your study area, and are included as reference.



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An SCM Company

175 Commerce Valley Drive W
Markham, Ontario L3T 7Z3

T: 905-882-6300
W: www.optaintel.ca

Report Completed By:

Stephanie

Site Address:

110 Broadway Street East Yorkton SK

Project No:

21032400545

Opta Order ID:

88078

Requested by:

Eleanor Goolab
Ecolog Eris

Date Completed:

4/14/2021 10:23:37 AM

Project Name: 21602 ATAL

Project #: 21032400545

ENVIROSCAN Report

Search Area: 110 Broadway Street East Yorkton SK

Requested by:
Eleanor Goolab
Date Completed: 04/14/2021 10:23:37

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Governing Document

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Law

This agreement shall be governed by and construed in accordance with the laws of the Province of Ontario and the laws of Canada applicable therein.

ENVIROSCAN Report

Report Index

Requested by:
Eleanor Goolab
Date Completed: 04/14/2021 10:23:37

OPTA INFORMATION INTELLIGENCE

Page	Report Title
6	(1965) Volume: Yorkton Firemap: 2
8	(1965) Volume: Yorkton Firemap: 3
10	(1965) Volume: Yorkton Firemap: 3
12	(1965) Volume: Yorkton Firemap: 4
14	(1965) Volume: Yorkton Firemap: 5
16	(1965) Volume: Yorkton Firemap: 26
17	(1985) COPE Report - 1985 HOLIDAY INN 110 BROADWAY ST E YORKTON SK S3N 0L2 Reference No: 40179733 (distance = 41 metres*)
20	(2000) Multirisk Report - 2000 HOLIDAY INN LTD. 110 BROADWAY ST E YORKTON SK S3N 0L2 Reference No: 40179733 (distance = 41 metres*)

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Project Name: 21602 ATAL

Project #: 21032400545

ENVIROSCAN Report

1965 Volume: Yorkton Firemap: 2
Yorkton Plan: 430 (1957)
Sheet: 2 (1965)

Requested by:
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Date Completed: 04/14/2021 10:23:37

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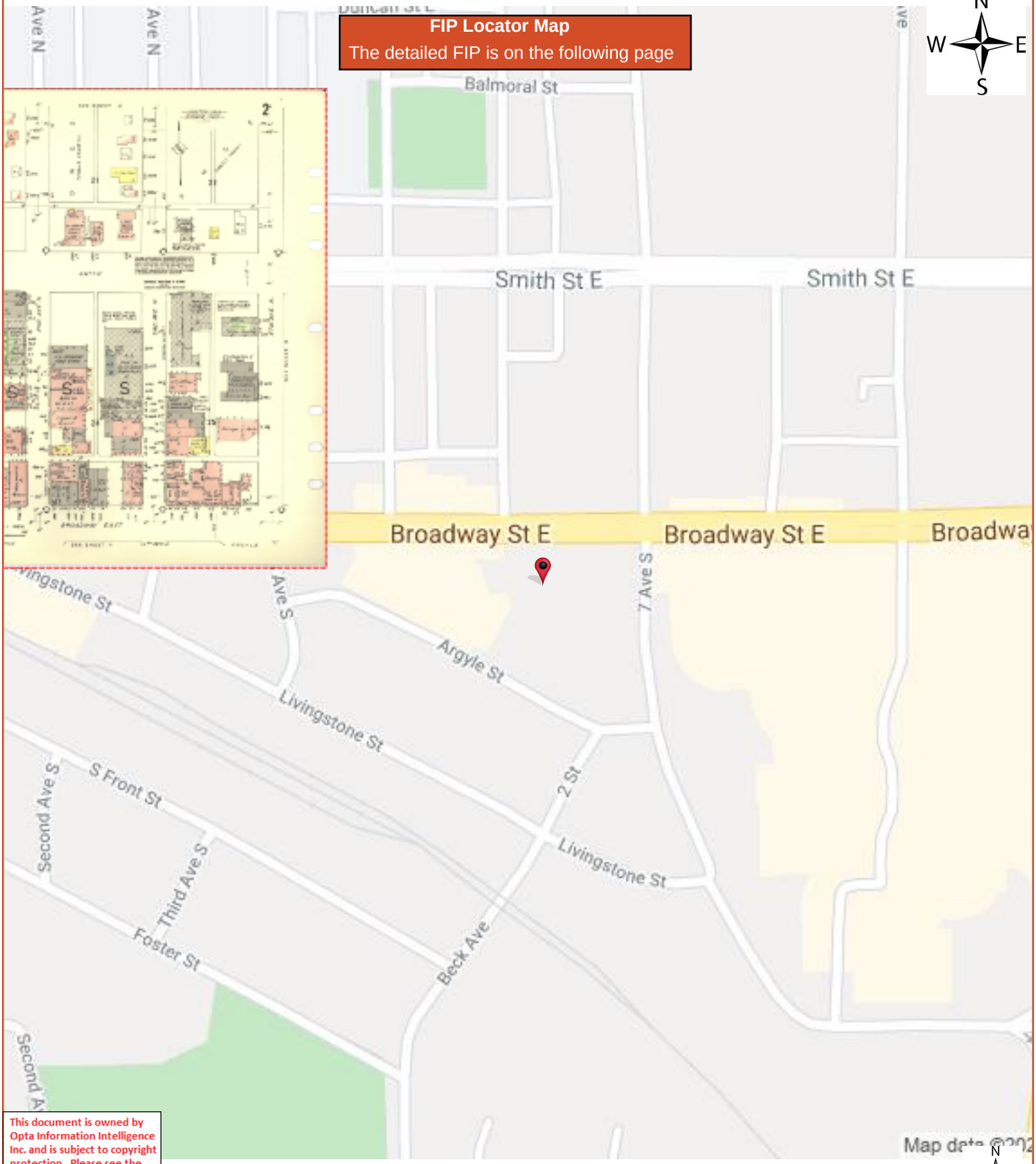
FIP Locator Map
The detailed FIP is on the following page



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ENVIROSCAN Report

1965 Volume: Yorkton Firemap: 2
Yorkton Plan: 430 (1957)
Sheet: 2 (1965)

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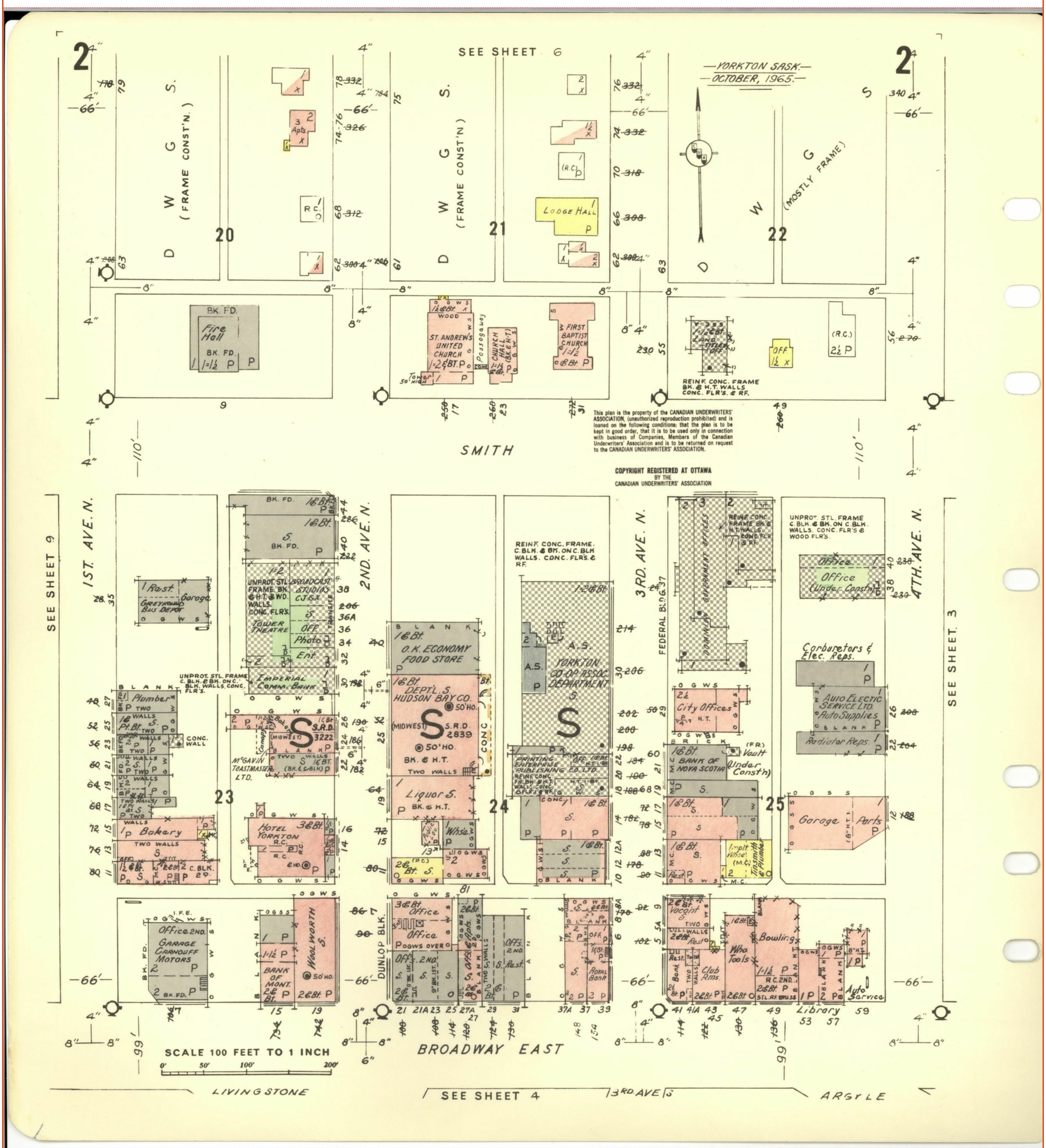

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Project #: 21032400545

ENVIROSCAN Report

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Yorkton Plan: 430 (1957)
Sheet: 3 (1965)

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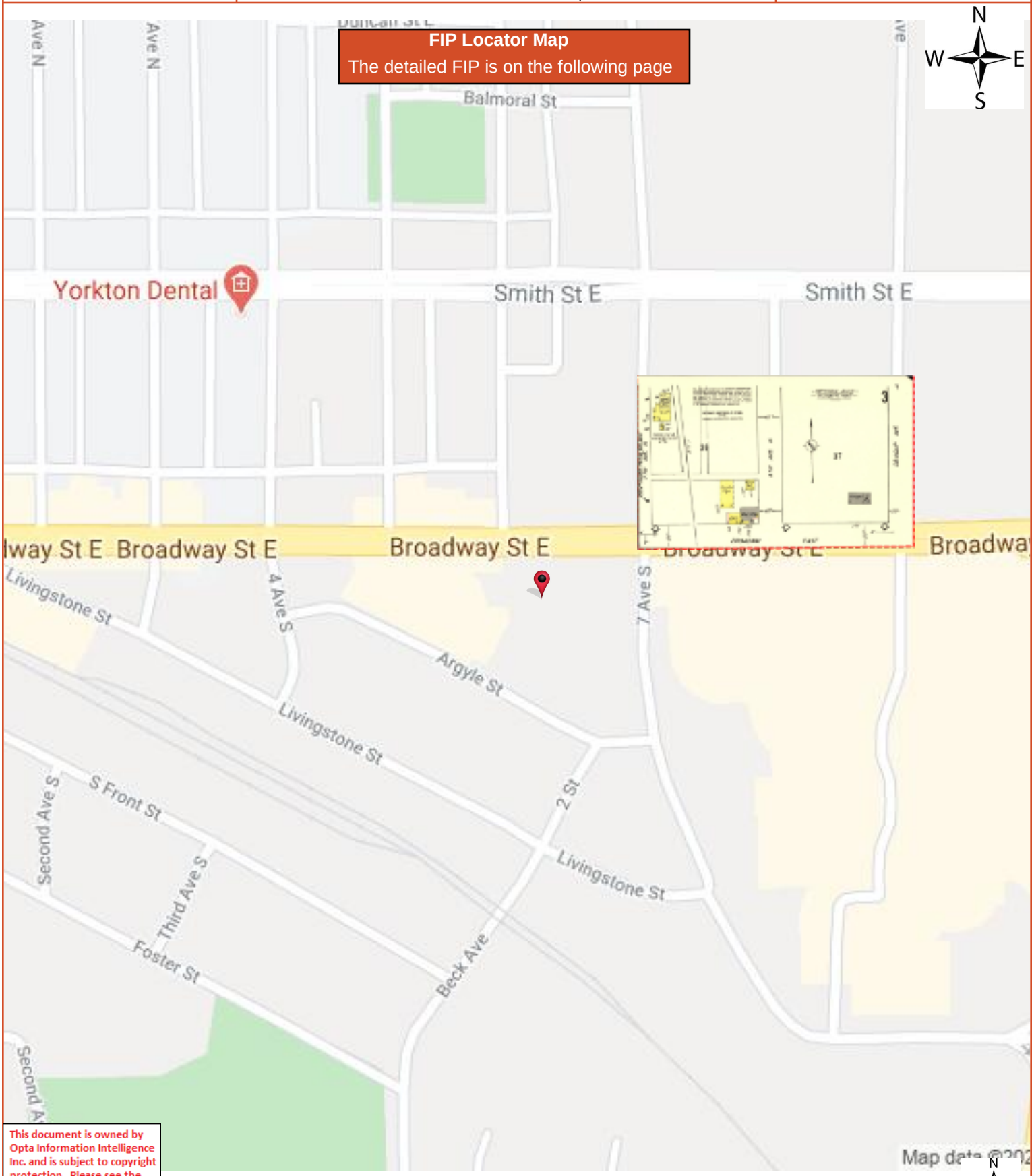

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Yorkton Plan: 430 (1957)
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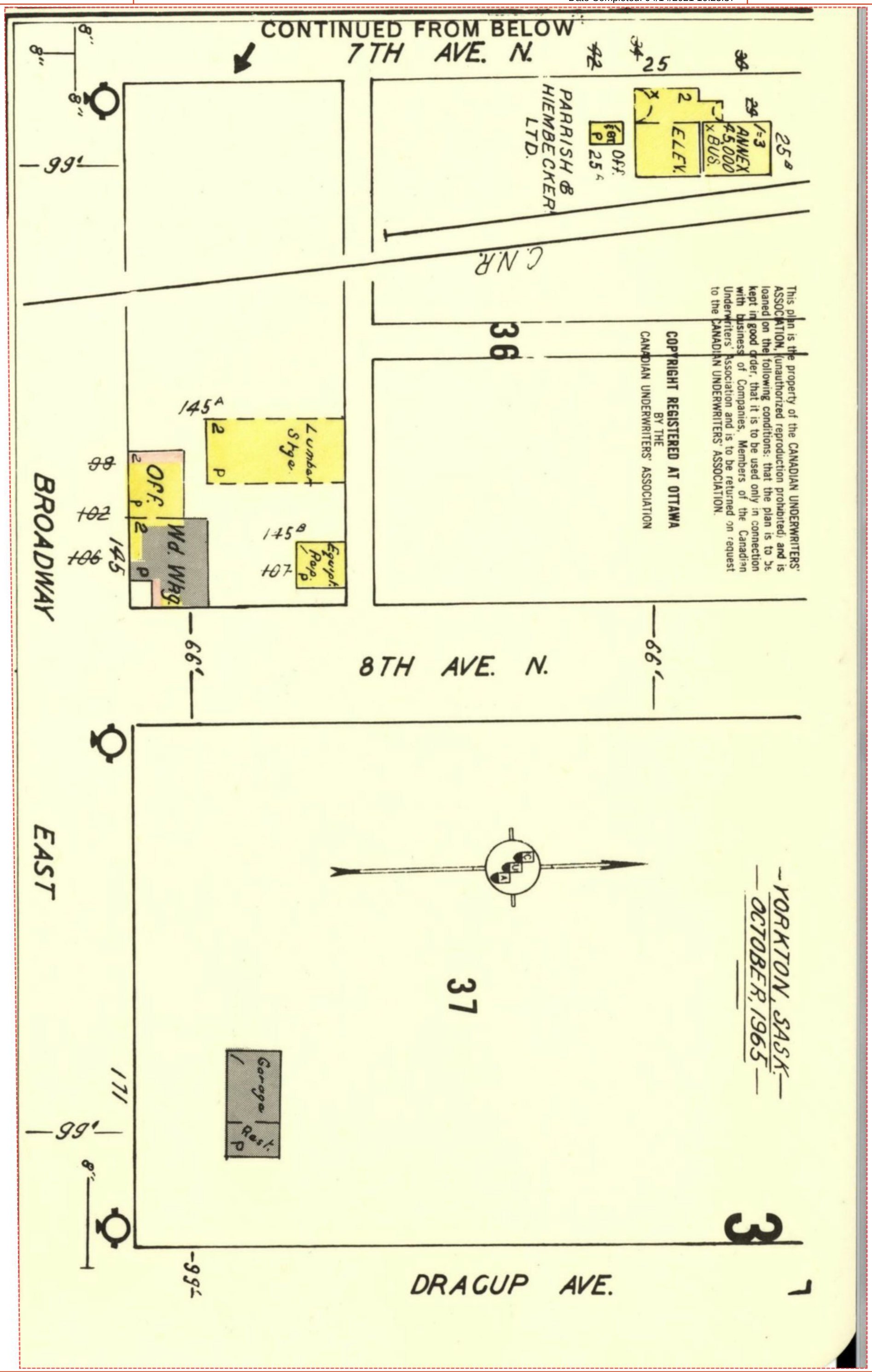

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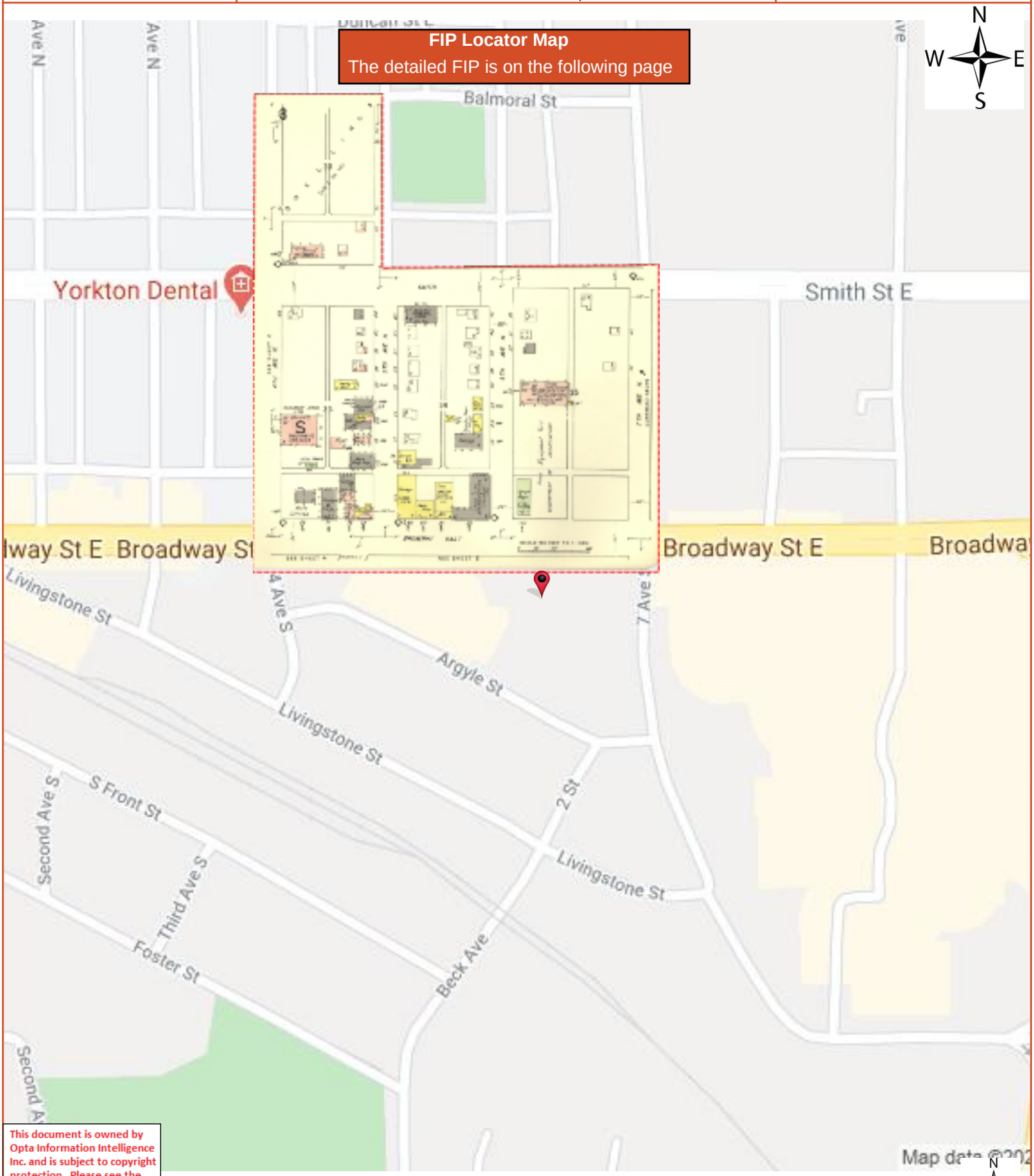

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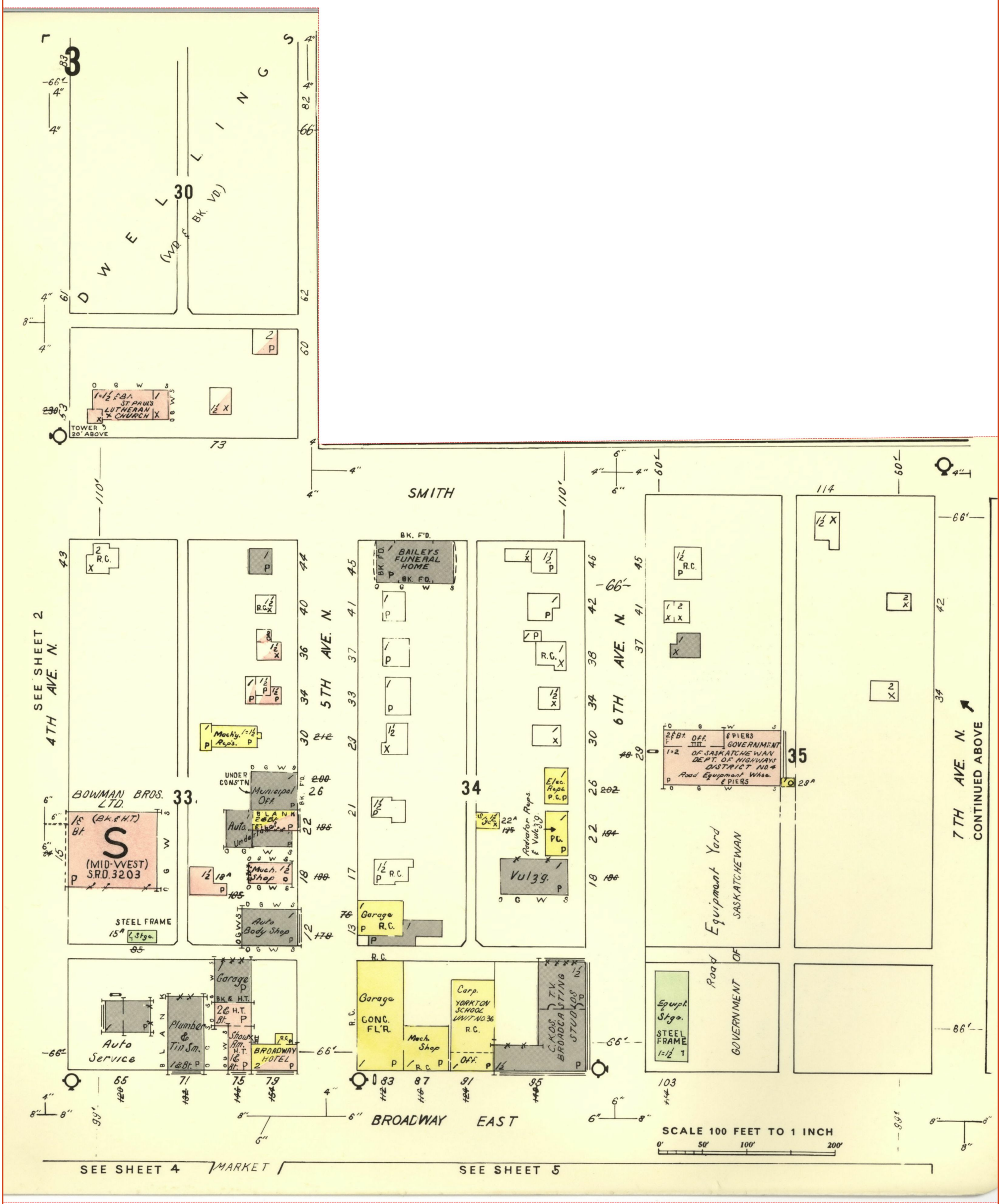
DWELLINGS
30
(Wd. & Bk. Vd.)
ST PAULS LUTHERAN CHURCH
TOWER 20' ABOVE
SMITH
SEE SHEET 2
4TH AVE. N.
5TH AVE. N.
6TH AVE. N.
7TH AVE. N.
CONTINUED ABOVE
BAILEYS FUNERAL HOME
BOWMAN BROS. LTD.
33
34
35
(MID-WEST) S.R.D. 3203
STEEL FRAME
Municipal Off.
Auto Body Shop
Vulcg.
Garage
CONC. FL'R.
Mach. Shop
YORKTON SCHOOL UNIT NO 36
C.K.O.S. BROADCASTING STUDIOS
Auto Service
Plumber & Tin Sm.
BROADWAY HOTEL
Equipment Yard
GOVERNMENT OF SASKATCHEWAN
Equipt. Stge.
BROADWAY EAST
MARKET
SEE SHEET 4
SEE SHEET 5
SCALE 100 FEET TO 1 INCH
0' 50' 100' 200'

Project Name: 21602 ATAL

Project #: 21032400545

ENVIROSCAN Report

1965 Volume: Yorkton Firemap: 4
Yorkton Plan: 430 (1957)
Sheet: 4 (1965)

Requested by:
Eleanor Goolab
Date Completed: 04/14/2021 10:23:37

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FIP Locator Map
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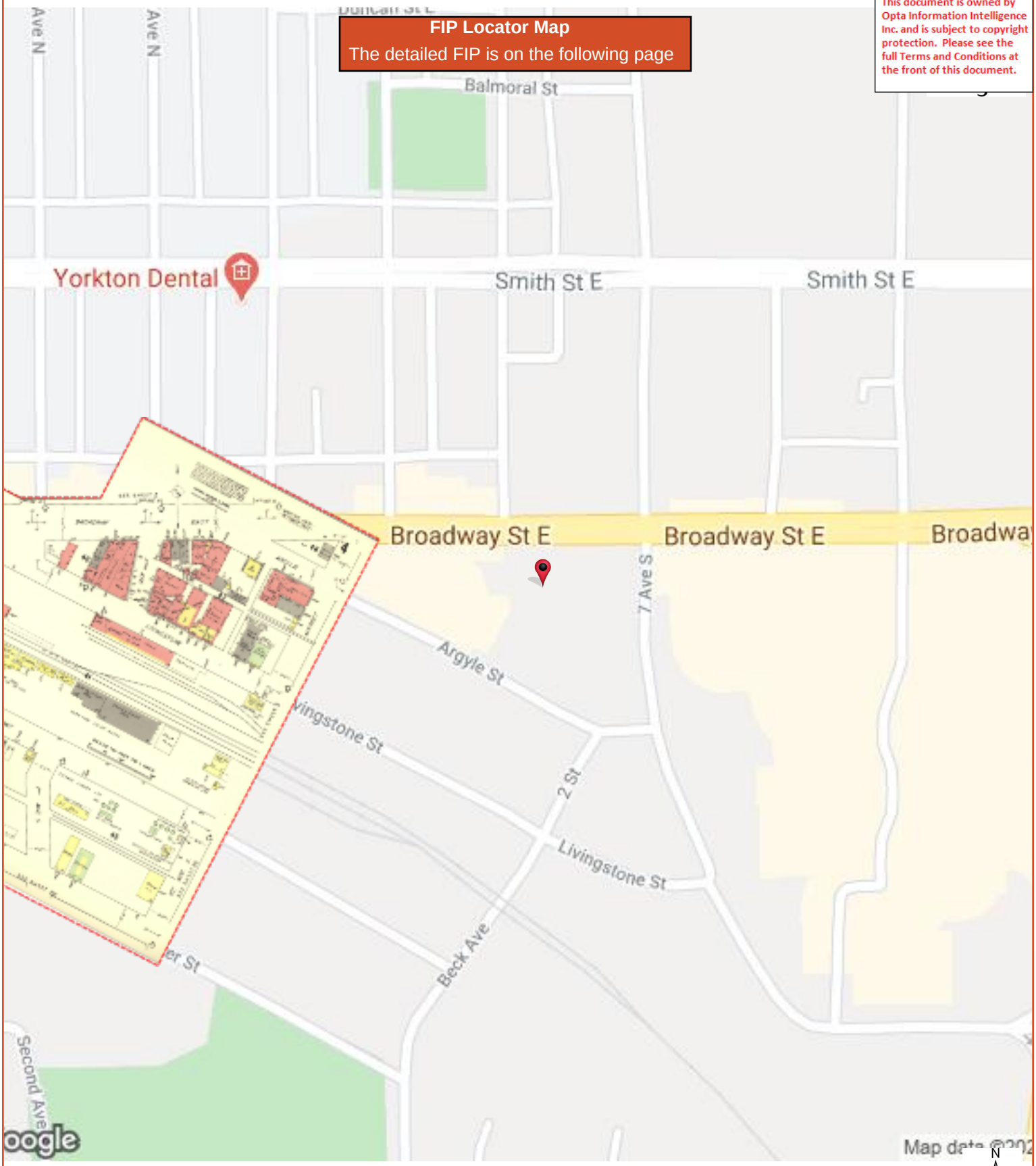

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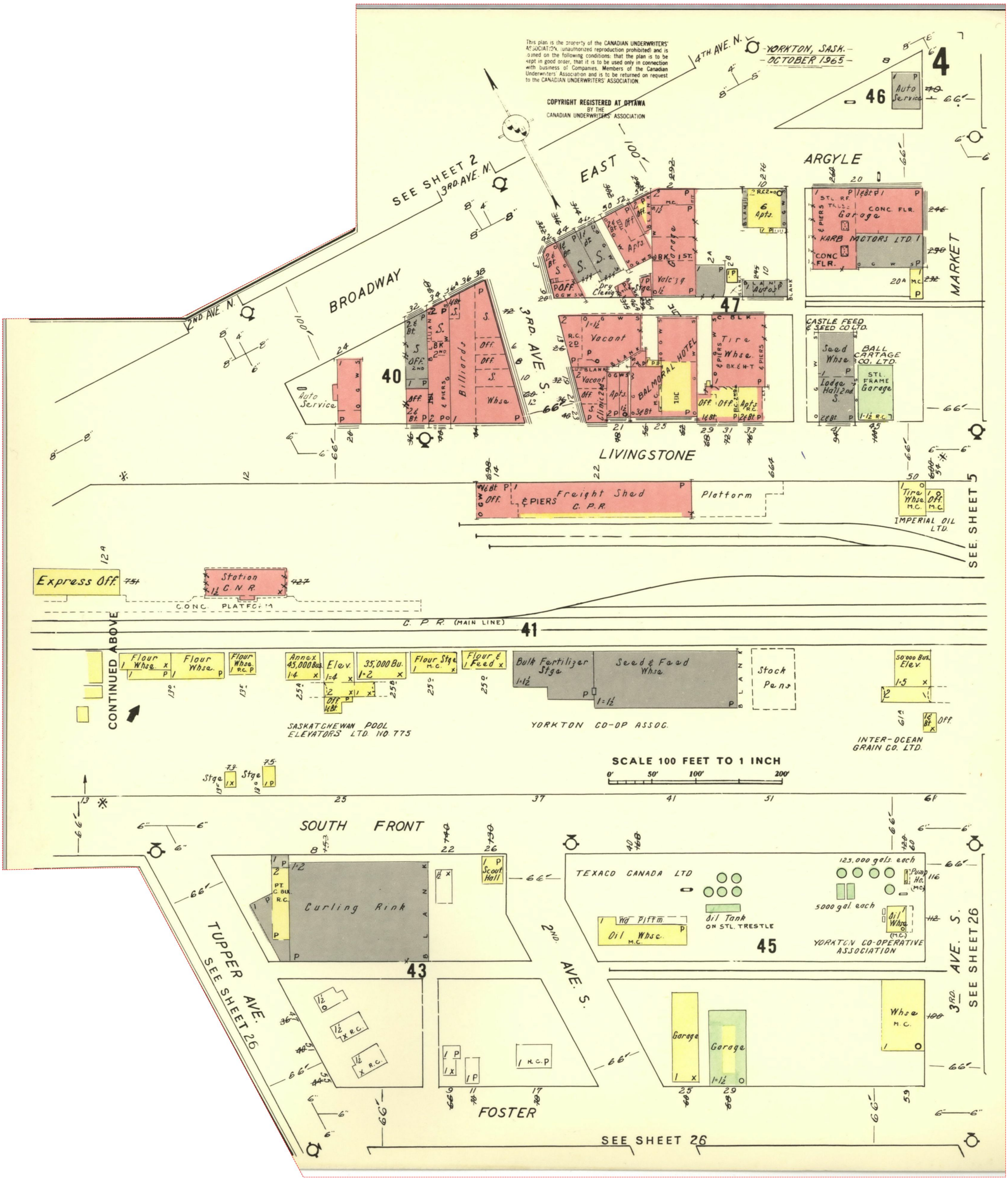

Project Name: 21602 ATAL

Project #: 21032400545

ENVIROSCAN Report

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Sheet: 5 (1965)

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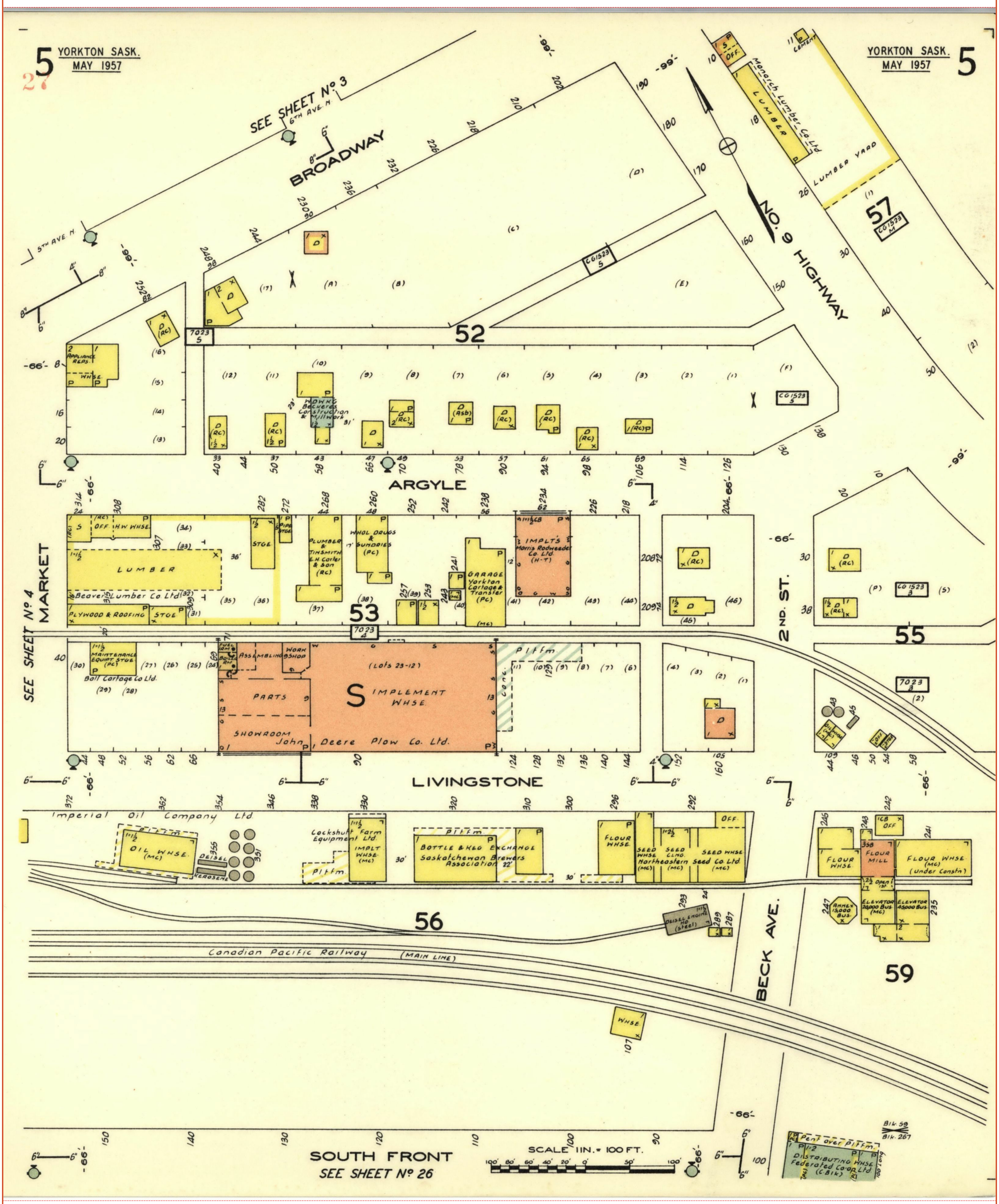

Project Name: 21602 ATAL

Project #: 21032400545

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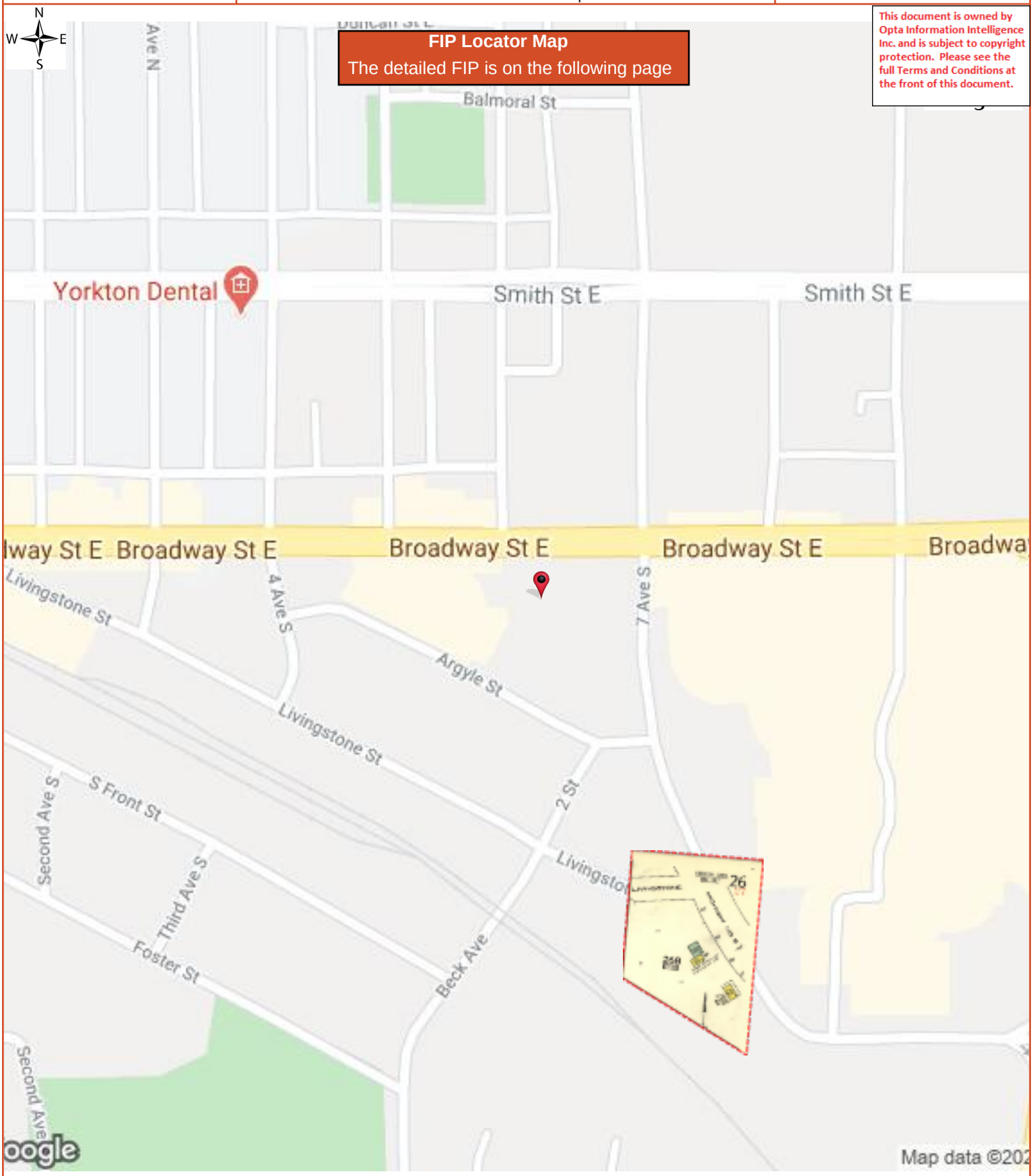

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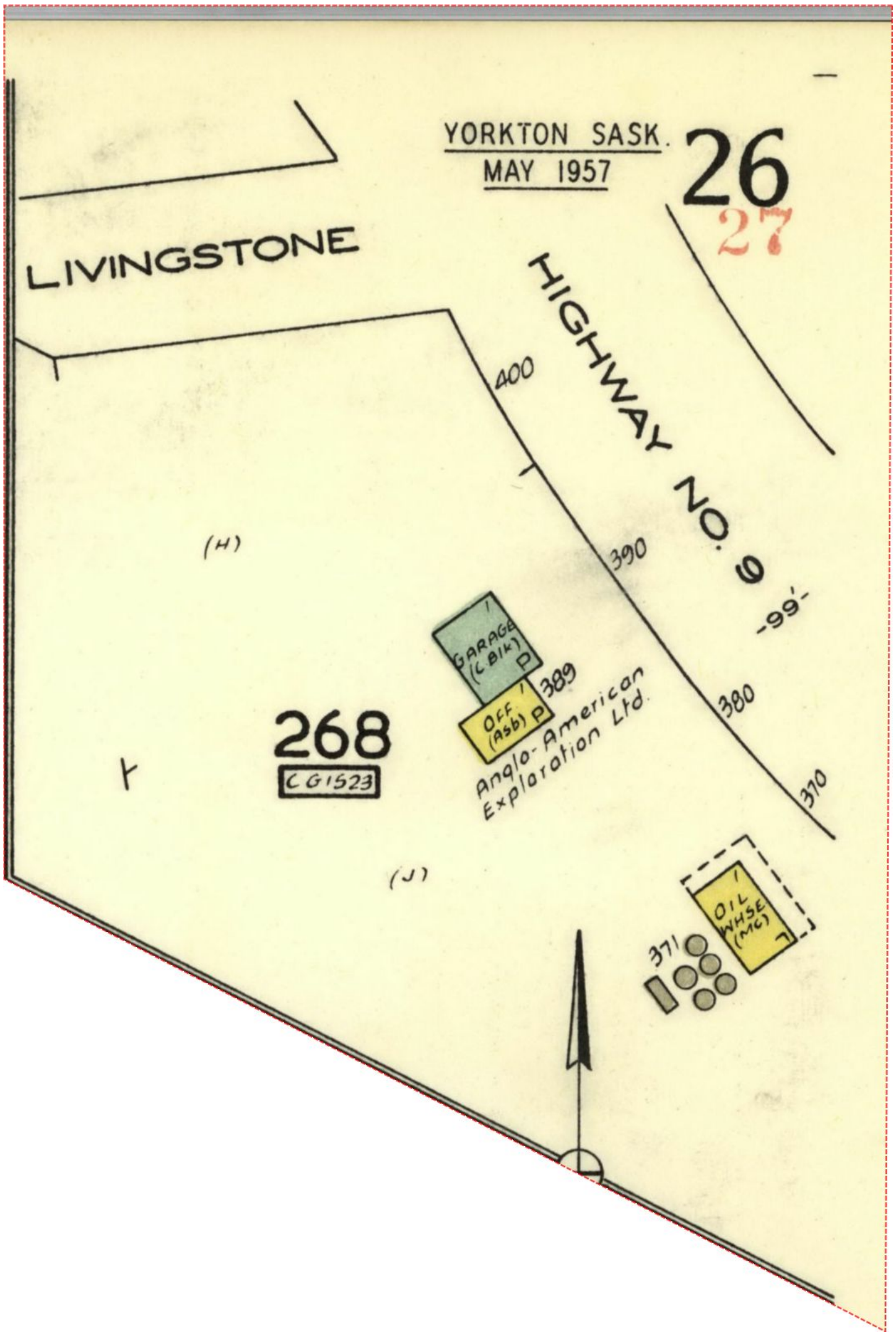

ENVIROSCAN Report

COPE Report - 1985 HOLIDAY INN 110 BROADWAY ST E YORKTON SK S3N 0L2 Reference No: 40179733

Requested by:
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Date Completed: 04/14/2021 10:23:37

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AIS Ref No.: 40179733

INSURERS' ADVISORY ORGANIZATION 2009-May-10
CONFIDENTIAL - FOR USE OF MEMBERS ONLY 12:23 [Sun]
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COPE (Construction, Occupancy, Protection, Exposure) REPORT

Risk: HOLIDAY INN
110 BROADWAY STREET EAST
YORKTON, SASKATCHEWAN
?

Reference No. 40179733 / Building No. 01

(Surveyed By G. H. TAYLOR on 26-SEP-85)

Please note that the information contained in this report was gathered during a physical inspection of the risk by an IAO Loss Control Representative.

If you wish to obtain building or contents rates for this risk, please refer to the Rate Card in the list of products available for this risk.
Please call the IAO Help Desk or your local IAO Representative for help in obtaining a rate for this risk, or do it yourself by going to www.iao.ca and using the New X-rate to generate a new rate yourself.

IAO reports, prepared in compliance with commonly accepted risk control standards existing at the time services are rendered, are developed from an inspection of the premises and/or from data supplied by or on behalf of the Purchaser. IAO does not purport to list all hazards. While changes and modifications referred to in the reports are designed to upgrade protection and loss prevention of the premises, IAO assumes no responsibility for management and control of these activities. IAO will not be responsible to the Purchaser for any loss or damages, whether consequential or other, however caused, incurred or suffered, as a result of the service being provided.

------ CODING ------

Industry Code:	701	- Hotels - Excluding Seasonal
Construction Code:	2	- Non-Combustible / Masonry Walls
Risk Classification:	NS	- Non-Sprinklered
Protection Code:	4	- Non-Sprinklered, Semi-Protected, Gr 5-7
Combustibility	M3	

------ CONSTRUCTION ------

WALLS - MASONRY:
100% HOLLOW CONCRETE BLOCK 200mm Thick C-2 Type: W-1

MASONRY and FIRE RESISTIVE FLOOR and ROOFS:
70% CONCRETE FLOORS & ROOF Hours: 2.00 Listed? L Type: D-1

NON-COMBUSTIBLE FLOORS and ROOFS:
5% CLASS II STEEL DECK ROOF C-7

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ENVIROSCAN Report

COPE Report - 1985 HOLIDAY INN 110 BROADWAY ST E YORKTON SK S3N 0L2 Reference No: 40179733

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AIS Ref No.: 40179733

FLOORS & ROOFS - COMBUSTIBLE:
25% WOOD FLOORS & ROOF C-2

------ SECONDARY CONSTRUCTION ------

HEIGHT:
Number of Storeys: 1
Basements: P

Combustible Storeys Without Grade Access: 2

VERTICAL OPENINGS:
STAIR IN PLBD BAST-1ST Comb.: M3 Const.: 2
Type: Open (V-4) 0 Hrs-Walls/ 0 Hrs-Doors
STAIR IN HCB 1ST - 2ND Comb.: M3 Const.: 2
Type: Open (V-4) 0 Hrs-Walls/ 0 Hrs-Doors

AREA:

Building Dimensions (m): 0 X 0 0 X 1 0 X 0

Grade: 3432 m2 Total: 5495 m2 Effective: 4938 m2

L1, L2 Area 0%

ROOF SURFACE:
100 % APPROVED

COMBUSTIBLE CONCEALED SPACES:
20 % PART COMB ROOF SPACE

BUILDING CONDITION:
GOOD Type C-.

Year Built: 1961, Air Conditioning: 100% CENTRAL

Basement: FINISHED

Elevators: NIL

COMMON HAZARDS: 7211a2 - ROOF MTD GAS FURANCES
7211a1 - GAS FIRED HOT WATER

------ PROTECTION ------

MUNICIPAL PROTECTION:
Distance from Hydrants: STANDARD Congested Area: NO
Distance to Fire Hall: STANDARD Accessibility: GOOD
FUS Protection Class: 06
Revised Class: ..
IAO Protection Class: 06

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ENVIROSCAN Report

COPE Report - 1985 HOLIDAY INN 110 BROADWAY ST E YORKTON SK S3N 0L2 Reference No: 40179733

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AIS Ref No.: 40179733

INTERNAL PROTECTION:
MANUAL FIRE FIGHTING EQUIPMENT: Portable Fire Extinguishers
Standpipe and Hose

------ EXPOSURE ------

EXPOSURE CHARGES:
Risk Wall: MASONRY UNPROT M3 LH/22 DETACH
Exposure Wall: MASONRY UNPROTECTED
0%

NONE NOTED:

------ OCCUPANCY - HOLIDAY INN ------

Industry Code: 701 - Hotels - Excluding Seasonal

Occupancy: 5242b - HOTEL (92 ROOMS)

Location: 110 Area: 5100 m2 93.0% of Total

Combustibility Code: M3 - Combustible
Susceptibility Code: S3 - Moderate Damage

------ OCCUPANCY - RESTAURANT ------

Industry Code: 581 - Restaurants - Refreshment Stands

Occupancy: 5212c - RESTAURANT

Location: 110 Area: 395 m2 7.0% of Total

Combustibility Code: M3 - Combustible
Susceptibility Code: S4 - Heavy Damage

Special Hazard: 7305b2 - FULL COOKG-W/APRVD SYSTM

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Alberta Branch
Confidential Report

MULTIRISK SURVEY

Insured:	HOLIDAY INN LTD.
Location Surveyed:	100 BROADWAY E ST YORKTON, SASKATCHEWAN S3N 0K9
Person Contacted:	Glen Langford
Telephone Number:	(306) 783-9781
Policy Number:	1948600
AIS Reference:	40179733
Surveyed by:	G.H. Taylor
Date of Survey:	2000.03.01

Committed to Service Excellence

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NOTE: The sole purpose of this report is to provide insurance pricing and underwriting information about the particular insured and location named. Only the person requesting this survey will receive a copy of the report, and IAO asks that it be kept strictly confidential. This report does not guarantee compliance with any standards or with any federal, provincial or municipal codes, ordinances or regulations. Tests of fire and other protection equipment have not been conducted or witnessed during this survey.

IAO reports, prepared in compliance with commonly accepted risk control standards existing at the time services are rendered, are developed from a survey of the premises and/or from data supplied by or on behalf of the Purchaser. IAO does not purport to list all hazards. While changes and modifications, referred to in the reports are designed to upgrade protection and loss prevention of the premises, IAO assumes no responsibility for management and control of these activities. IAO will not be responsible to the Purchaser for any loss or damages, whether consequential or other, however caused, incurred or suffered, as a result of the services being provided.

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Page: 1

HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

M U L T I R I S K - F I R E, L I A B I L I T Y A N D
B A S I C C R I M E

OCCUPANCY:

The insured is an owner/occupant at this location. They have been in operation since 1998 and at this location for 2 year(s). They occupy 5495 sq. m and are the major occupant, having 28 employees. The premises are not in good condition. The insured is interested in loss prevention, however there have been losses during the last 3 years.

* Loss History

A sump pump failed 3 days before this inspection resulting in the basement floor being covered with 5 cm of water. The area was still being dried out and there was no information on ann insurance claim.

* Occupancy Description (Insured / major tenant if insured is non-occupant)

Hotel with 91 guest rooms, pool with water slide, night club, banquet rooms and restaurant with protected cooking.

* Other Classes of Occupants

None

* Undersirable Features

See Recommendations.

Risk is Rateable under the Commercial Property Fire Schedule.
It is recommended that this location be resurveyed in 1 year(s).

BUILDING:

* Built - 1961 Height: Storey(s) (excluding basement) - 1 & 2
* Addition(s) - 1976, 1983
* Renovation(s) - 1983
* Building condition - Fair

* Area: Ground Floor - 3432 sq. m Total (including basement) - 5495 sq. m

BASIC CONSTRUCTION:

* Walls - 100% Masonry - Concrete blocks

* Floors - (excluding basement) 70% Wood joist; 30% Concrete

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* Roof - 42% - Concrete
  - Surface material(s) - Tar and gravel
  - Original roof.
  - 10% - Steel Deck Class II
  - Surface material(s) - Tar and gravel
  - Original roof.
  - 48% - Wood joist
  - Surface material(s) - Tar and gravel
  - Resurfaced in 1983.

INTERIOR FINISH:

* Walls - 5% combustible - wood
  - 95% non-combustible

* Ceilings - 100% non-combustible

BASEMENTS:

* Number of basements - 1
* Total Area - 557 sq. m
* Finished - 80% Unfinished - 20%

VERTICAL OPENINGS:

* Stairs - Non-fire rated enclosure
* Elevators - Non-fire rated enclosure

MEZZANINE: None

OUTBUILDINGS: None

HEATING:

* Hot Water/Steam - 60% - Natural gas
  - Upgraded in 1991, 60% replaced.
  - Installation appears safe

* Roof Mounted Units - 40% - Natural gas
  - Original installation.
  - Installation appears safe

* Heating appliances - All enclosed in a separate room
* Combustible materials - Not stored in this room at time of survey

* Fuel Tanks/Supply:
  - Supply - UG Natural Gas Connection

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* Chimneys:
  - Type B Gas Vent, ULC Labelled - Standard

ELECTRICAL:

* Condition - Good and appeared safe at the time of the survey.
* Wiring - BX
* Overcurrent protection - Circuit Breakers.
* Electrical system - Upgraded in 1983, 15% replaced.

PLUMBING:

* Condition - Good at the time of the survey.
* Piping is Copper
* Plumbing - Upgraded in 1983, 20% replaced.

EXPOSURES: (within 15m of the risk):

* REAR: TO BUILDING
  Construction - Masonry / Wood joist.
  Occupancy - Auto Body Shop.
  Distance - 9 m Height - 1 storeys
  Protection - Non-Sprinklered Grading - Moderate

* FRONT: OPEN

* LEFT: OPEN

* RIGHT: OPEN

MUNICIPAL PROTECTION:

* The FUS Public Fire Protection Classification is 5
* Responding (career) fire department Yorkton
* Distance from risk Less than 2.5 km
* Access via Paved roads. Year-round.

* The building itself is easily accesible to the fire department.
* Two hydrants within 155m (standard)

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Page: 4

HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

PRIVATE PROTECTION at this location includes the following:

* Standard extinguishers; Standard Standpipe & hose
* Fire detection/alarm system - Local - Partial Heat & Smoke
* Restaurant cooking protection - Supplement attached

* An automatic sprinkler system is not present.

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HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

M U L T I R I S K - L I A B I L I T Y

OCCUPANCY - GENERAL INFORMATION

* Neighbourhood is predominantly commercial
* Insured - owner/occupant Area occupied - 5495 sq. m
* 85% accessible to public. Public access is considered heavy
* Gross revenue - could not be determined at the time of the survey

PREMISES information at the time of this survey

* The following appeared to be SATISFACTORY:

  Stairs, ramps, handrails; Floor surfaces & coverings; Wall & ceilings; Inerior Lighting; Exterior Lighting; Interior Housekeeping; Exterior Housekeeping; Washrooms; Sidewalks, Yards & Parking Lots; Snow & ice removal; Signs & Awnings; Fire exits; Fire alarms

* The following were found to be UNSATISFACTORY, (refer to the Remarks and Recommendations for further details):

  Emergency Lighting

* Explanation of Unsatisfactory Features, (refer to the Remarks and Recommendations for further details):

  The emergency light at the north east entrance is burned out.

* Other features present:

  Sale of food, Sale of alcohol, Swimming pool, Bouncers, Dance floor

* Other recreational facilities present:

  There are 9 VLT's.

* The food to liquor sales ratio is 40/60

ELEVATING DEVICES

* 1 Passenger elevators
  - Current license is present.
  - Maintenance contract - Yes Company - Dover Elevator Co.

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HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

M U L T I R I S K - E X P A N D E D C R I M E

BUSINESS:

The insured operates an hotel with restaurant and night club at this location, with Normal business hours 24 hrs/day, 7 days/week. The present inventory value is approximately $20,000, whereas the maximum target stock value is about $12,000, and the average target stock value would be $6,000.

* Inventory taken - semi-annual
* Typical Stock - Restaurant food.
* Target Stock - Liquor.

* There is a moderate smash and grab exposure at this location (see remarks). This exposure is not adequately protected.

NEIGHBOURHOOD:

* Predominantly commercial
* Stable
* Best described as having a moderate crime rate.

THERE IS NO SECURITY ALARM SYSTEM

GENERAL PROTECTION at the time of this survey:

* The following appeared to be SATISFACTORY:

  Exterior Lighting, Interior Lighting, Roof Accessability, Police Patrols

* The following were found to be UNSATISFACTORY, (refre to the Remarks and Recommendations for further details):

  Target stock protection

* Guard Service - None

DOOR DETAILS:

* Front - 2
  - Construction - Glass without Bars with plain glass panels
  - Type - Person
  - Equipped with Single Cylinder Dead Bolt, Panic Bar
  - Not wired to alarm system

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* Front - 2
  - Construction - Metal with no panels
  - Type - Person
  - Equipped with Single Cylinder Dead Bolt, Panic Bar
  - Not wired to alarm system

* Side - 1
  - Construction - Glass without Bars with plain glass panels
  - Type - Person
  - Equipped with Single Cylinder Dead Bolt, Panic Bar
  - Not wired to alarm system

* Side - 1
  - Construction - Metal with no panels
  - Type - Person
  - Equipped with Single Cylinder Dead Bolt, Panic Bar
  - Not wired to alarm system

* Rear - 3
  - Construction - Wood with no panels
  - Type - Person
  - Equipped with Single Cylinder Dead Bolt
  - Not wired to alarm system

* Rear - 4
  - Construction - Metal with no panels
  - Type - Person
  - Equipped with Single Cylinder Dead Bolt, Panic Bar
  - Not wired to alarm system

WINDOW DETAILS:

* Front - 12
  - Type - Fixed - Plain glass
  - Burglary screens - No
  - Burglary Bars - No
  - Windows not wired to alarm system

* Side - 16
  - Type - Fixed - Plain glass
  - Burglary screens - No
  - Burglary Bars - No
  - Windows not wired to alarm system

* Rear - 9
  - Type - Fixed - Plain glass
  - Burglary screens - No
  - Burglary Bars - No
  - Windows not wired to alarm system

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HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

MONEY ON HAND:

* Currency - Ave $10,000 - Max $15,000 - Overnight $10,000
* Cheques - Ave $2,000 - Max $3,000 - Overnight $2,000

CHEQUES:

* Cashed - No

DEPOSITS:

* Frequency - Daily
* Deposits made during daytime Hours vary
* Distance is .3 km 1 staff accompany

SAFE:

* Physical Details
  - Dimensions - Hi 98 cm Wt 76 cm Dp 76 cm Walls 2 cm
  - Not labelled
  - Safe not fixed in floor
  - Safe on wheels
  - Located - Office in night club
  - Lock type - Combination Approximate age - 50 years
    No. of people with access - 3
  - Safe is not on alarm

* Money in Safe
  - Currency - Day $2,000 Night $10,000
  - Cheques - Day $500 Night $1,000

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HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

M U L T I R I S K - A L L R I S K

EARTHQUAKE: Zone 0 History of earthquakes - No

FLOOD:

* Nearest body of water - none
* Distance from risk - could not be determined at the time of the survey.
* Risk is not located on a flood plain
* There is no history of flooding
* No evidence of water damage

WATER DAMAGE:

* Plumbing - Copper
* Evidence of corrosion - None
* Building is not sprinklered

* At time of survey, the following appeared to be SATISFACTORY:

  - Stock susceptibility to water damage
  - Adequacy of sealing of Window/Skylight openings
  - Unusual damage exposure from air conditioning equipment

* At time of survey, the following were found to be needing attention:

  - Adequacy of Roof covering material

* Most recent roof repair date - Roof repairs required
* Water damage protection - Shelving

* History of water damage - Yes
* Evidence of water damage - A sump pump failed 3 days before this inspection resulting in the basement floor being covered with 5 cm of water. The area was still being dried out and there was no information on an insurance claim.

COLLAPSE:

* No items which may lead to collapse were found.

* History of collapse - None

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SEWER BACK-UP:

* History of sewer back-up - could not be determined
* Protection devices in place - could not be determined

VERIFICATION - WATER DAMAGE, FLOOD, SEWER BACKUP, INFORMATION:

* Confirmed by Glen Langford
* Years knowledge of risk - 0

ADDITIONAL PERILS:

* Lightning protection - No
* Risk is not located within 5 km of an airport
* Risk is not located beneath a flight path
* Yard is not fenced
* Yard/Exterior of building lit
  - There is city street lighting plus pole lighting in the parking lot.

* Risk is not located in high wind/hail area
* No visible malicious damage/vandalism at risk
* No signs of vandalism within surrounding vicinity

* Risk is not subject to vehicular impact
* Vehicle impact exposure consists of Parking curbs are provided.

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AIS Ref No.: 40179733

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HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

M U L T I R I S K - C O O K I N G

BUSINESS:

* The business operates as a hotel at this location, with dining room. The insured has been at this location for 2 years and in this type of business for 20 years.

* Liquor permit - Yes Capacity - 84

KITCHEN:

* Wall Finish - plaster
* Ceiling Finish - non-combustible tile
* Floor Covering - tile
* Wall finish near appliances - Non-combustible
* Cleanliness - Good
* Pest Control Program - None

REFRIGERATION INSTALLATION:

* Freezers - 1 - in good repair.

* Cold rooms - 1 - in good repair.
  - Dimensions - 2m x 3m

APPLIANCES:

* Oven - 1 Fuel - Natural gas
  - Automatic shut-off - Provided
  - Hood construction - Stainless steel
  - Protection - None

* Grill/Griddle - 2 Fuel - Natural gas
  - Automatic shut-off - Provided
  - Hood construction - Stainless steel
  - Protection - Fixed systen

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* Deep fat fryer - 1 Fuel - Natural gas
  - Automatic shut-off - Provided
  - Hood construction - Stainless steel
  - Protection - Fixed systen

* Stove/Range - 1 Fuel - Natural gas
  - Automatic shut-off - Provided
  - Hood construction - Stainless steel
  - Protection - Fixed systen

* Char broiler - 1 Fuel - Natural gas
  - Automatic shut-off - Provided
  - Hood construction - Stainless steel
  - Protection - Fixed systen

EXHAUST SYSTEM CLEANING:

* Filter(s) - Weekly
  - Performed by staff
  - Filter(s) were clean at the time of the survey.

* Hoods - Weekly
  - Performed by staff
  - Hoods were clean at the time of the survey.

* Ducts - Semi-annual
  - Performed by Grease Busters
  - It could not be determined if ducts were clean at time of survey.

EXHAUST DUCTS:

* Installed in 1983
* Arrangement - Discharges directly to the outside; Extends through the roof; Passes through combustible materials; Protected by a fixed extinguishing system
* Ventilation equipment - adequate

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HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

FIXED EXTINGUISHING SYSTEMS:

* Wet Chemical System labelled by ULC

  - Manual emergency operation is provided
  - Installation approved
  - Certificate available
  - Manufacturer - Badger/Figge
  - Model - Range Guard

MAINTENANCE CONTRACT:

* Maintenance contract is available
* Maintained by Mac Brothers
* Telephone - 783-3473
* Date last serviced - 22-Jan-2000
* Stated service frequency - Semi-annual

OTHER PROTECTION:

* Automatic sprinklers are not provided
* Adequate kitchen extinguishers are provided
* Extinguisher types - Dry Chemical (40-B:C)
* ULC labelled grease extraction system not provided

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HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

M U L T I R I S K - S W I M M I N G P O O L

GENERAL DESCRIPTION:

* Ownership - Private Heated - No
* Location - Indoor, Below grade

* Construction - Concrete
* Built - 1983

* Dimensions - Length - 9 metres, Width - 6 metres
* Depth - Minimum - .7 metres, Maximum - 1.7 metres

* Maximum capacity: 26 people Condition: Good
* Hours of use: 10:00am - 10:00pm

* At time of survey, the following appeared to be SATISFACTORY:

  Pool slide(s), Change room(s)/Locker room(s), Sauna area(s), Whirlpool(s), Clearance around pool, Condition of furnishings/Fixed seating

* At time of survey, the following were found to be UNSATISFACTORY: (refer to the Remarks and Recommendations for further details):

  Condition of floor cover material

POOL SAFETY noted at the time of this survey:

* The following appear toe be satisfactory:

  First aid equipment accessibility and condition; Emergency telephone; Proper marking of water depth changes; Posting of basic rules and regulations; Enforcement of basic rules and regulations; Electical equipment provided with ground fault circuit (or GFCI) interruptors; Documented frequency of GFCI testing; Safety and security of pool chemical storage; Documented frequency of water quality testing

* The following items were found needing attention, (refer to the Remarks and Recommendations for further details):

  Pool supervision

* Frequency of GFCI testing - twice a year
* Frequency of testing water quality - daily

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HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

M U L T I R I S K
R E M A R K S / R E C O M M E N D A T I O N S

REMARKS:

* Fire, Liability & Basic Crime - This hotel has deteriorated over the past 5 years and is scheduled for some major upgrades. This includes roof repairs to control the existing leaks, new carpets throughout and a kitchen renovation including some new cooking equipment.

* Fire, Liability & Basic Crime - The heating boiler was replaced in 1999.

* Fire, Liability & Basic Crime - In addition to the safe described in this report, there is a drop safe at the 24 hour attended registration desk.

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HOLIDAY INN LTD.
100 ST BROADWAY E; YORKTON, SASKATCHEWAN

RECOMMENDATIONS:

* 00-1 Fire, Liability & Basic Crime - The safe in the night club is inadequate to protect the money which is stored within it. It is strongly recommended that an Underwriters Laboratories of Canada (ULC) listed burglary resistant safe be provided. The safe rating should be at least equivalent to a TL-30, tool resistant for 30 minutes.

* 00-2 Fire, Liability & Basic Crime - As there is no one in the night club section at night, a burglar alarm system should be provided in this area and monitored by the 24 hour attended registration desk.

* 00-3 Fire, Liability & Basic Crime - The torn carpet at the entrance to the indoor swimming pool should be repaired or replaced to prevent an accidental tripping injury.

* 00-4 Fire, Liability & Basic Crime - It is recommended that all bouncers and staff involved with serving alcohol be enrolled in the "It's Good Business" course provided by the Saskatchewan Tourism Education Council. This course teaches the responsible service of alcohol to patrons with techniques to ensure their safety during and after their visit to your establishment.

* 00-5 Fire, Liability & Basic Crime - Written documentation log should be maintained of all incidents involving patrons who arrive at premises impaired, become visibly impaired on premises, who fight, become disruptive or abusive, or patrons who are impaired and leaving the establishment alone. These instructions should be conspicuously posted for all staff to easily refer to should one of these incidents occur.

* 00-6 Fire, Liability & Basic Crime - A comprehensive, recorded, regular maintenance program should be kept for all areas of the property including stairs, floors, washrooms, entrances, emergency lighting, parking areas, snow clearing and equipment servicing. Adequately maintained records of such activities may be advantageous in a claims defense.

* 00-7 Fire, Liability & Basic Crime - The burned out battery in the emergency light near the north east exit should be replaced.

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Saskatchewan Ministry of Environment

Search results for spills matching keyword **broadway** in YORKTON

Spill/Incident Number	Spill Date	Contaminant	Quantity	Address	Title Description	Lat/Long	Legal Land Description
140105	2/15/2014	OTHER - mo 99. Report Id: 2014-02-15T22:15:25	158 KG	206 Broadway Street East, Yorkton			
140272	5/14/2014	GASOLINE LIQUID - Report ID: 2014-05-14T15:15:46	0 L	112 Broadway Street West, 7-11, Yorkton			

Saskatchewan Ministry of Environment

Search results for Hazardous Storage matching keyword **broadway** in YORKTON

Operation ID	Operation Name	Address	Legal Land Description	Operation Status
7480	CITY OF YORKTON - WATER TREATMENT PLANT, BROADWAY ST. WEST S	501 BROADWAY ST. W., YORKTON		Operating
8002	STIK'S WELDING STORAGE SITE	PARCEL A, PLAN 673, BROADWAY ST. W., YORKTON		Reclaimed
8985	KEY CHEVROLET OLDSMOBILE CADILLAC LTD. STORAGE SITE	441 BROADWAY ST. E., YORKTON		Reclaimed
9493	MAPLE FARM EQUIPMENT LTD. STORAGE SITE	570 BROADWAY ST. W., YORKTON		Operating
9837	WARDALE EQUIPMENT LTD. (YORKTON) STORAGE SITE	230 BROADWAY ST. E., YORKTON		Operating
9879	HAAS NISSAN LTD. STORAGE SITE	386 BROADWAY E., YORKTON		Operating
9973	ROYAL FORD LINCOLN MERCURY SALES STORAGE SITE	117 BROADWAY ST. E., YORKTON		Operating
10076	K & K KOROL ENTERPRISES STORAGE SITE (HUSKY)	350 BROADWAY ST. W., YORKTON		Under Construction
10114	J & L PANCHUK ENT. & UNIROYAL TIRE CENTRE STORAGE SITE	569 BROADWAY ST. E., YORKTON		Decommissioning
10214	PETRO-CANADA (BRENDON HOLDINGS LTD. STORAGE SITE)	24 BROADWAY ST. W., YORKTON		Under Construction
10459	CANADIAN TIRE PETROLEUM STORAGE SITE	366 BROADWAY AVE. W., YORKTON		Reclaimed
10644	CONEXUS CREDIT UNION (FORMER SERVICE STATION STORAGE SITE)	414 BROADWAY ST. E., YORKTON		Reclaimed
10645	MID CITY SERVICE STORAGE SITE	65 BROADWAY ST .E., YORKTON		Reclaimed
10646	WEST BROADWAY SERVICE STORAGE SITE	300 BROADWAY AVE. W., YORKTON		Reclaimed
10711	EAST END ESSO SERVICE & MOTEL LTD. STORAGE SITE	440 BROADWAY ST. E., YORKTON		Operating
10904	KAHKEWISTAHAW CONVENIENCE STORE / GAS BAR STORAGE SITE	500 BROADWAY STREET, YORKTON		Operating
11160	YORKTON TURBO STORAGE SITE	332 BROADWAY ST. W., YORKTON		Decommissioning
11191	NORTH STAR SERVICE STORAGE SITE	37 BROADWAY AVE. W., YORKTON		Inactive
11225	FAS GAS BROADWAY ST. SERVICE #207 STORAGE SITE	385 BROADWAY ST. E., YORKTON		Operating

11288	FAS GAS YORKTON SERVICE #96 STORAGE SITE	150 BROADWAY ST. E., YORKTON	Operating
11319	7-ELEVEN STORE, YORKTON #27029 STORAGE SITE	112 BROADWAY ST. W., YORKTON	Operating
11376	YORKTON TURBO (#8069) - PARKLAND MALL STORAGE SITE	299-277 BROADWAY ST. E., YORKTON	Reclaimed
11463	YORKTON CO-OPERATIVE ASSOC.LTD., BROADWAY ST., YORKTON STORA	305 BROADWAY STREET. W., YORKTON	Operating
11529	CJ'S ESSO STORAGE SITE	171 BROADWAY ST. E., YORKTON	Reclaimed
11530	BROADWAY C-CENTRE (#732) STORAGE SITE	24 BROADWAY ST. E., YORKTON	Reclaimed
11713	BROADWAY PARK ESSO STORAGE SITE	440 BROADWAY ST. W., YORKTON	Reclaimed
11714	T & M SERVICE STORAGE SITE	78 BROADWAY ST. E., YORKTON	Inactive

Saskatchewan Ministry of Environment

Search results for Hazardous Storage matching keyword **argyle** in YORKTON

Operation ID	Operation Name	Address	Legal Land Description	Operation Status
9684	DAVID DEDMAN PONTIAC BUICK GMC LTD., ARGYLE STREET, YORKTON	62 ARGYLE ST., YORKTON		Reclaimed

Hydrosphere Technologies
37 Lott Road East, White City, Saskatchewan
Tel 306.751.0307
admin@hydrosphere.ca
www.hydrosphere.ca

MAY 10, 2021

Alton Tangedal M.ARCH., S.A.A., M.R.A.I.C.
Alton Tangedal Architect Ltd.
Suite 100, 1170 – 8th Avenue, Regina, SK S4R 1C9
Via email: alton@atalarch.ca

Reference: Hazardous Building Material Survey, 110 Broadway St E, Yorkton, SK

Dear Alton,

Hydrosphere Technologies (Hydrosphere) was commissioned by Alton Tangedal Architect Ltd. (ATAL) to conduct a hazardous building material survey at 110 Broadway St E, Yorkton building. All site work was completed on April 27, 2021.

All work carried out meets the requirements of the Saskatchewan Occupational Health and Safety Regulations, 2020 (OHSR), The Saskatchewan Asbestos Abatement Manual, 2017 (AAM), and current good practice in hazardous material control. The purpose of the investigation was to identify and quantify potential hazardous building materials within the subject building.

Suspect materials were sampled and assessed by visual inspection, where appropriate, for the above substances. Based on this inspection, seventeen (17) suspect asbestos-containing materials (ACMs) were sampled and submitted to Bureau Veritas (BV) Laboratories for ACM analysis based on NIOSH 9002 method and EPA/600R-93/116 Method (Polarized Light Microscopy).

Three (3) samples of suspect lead-based paints were submitted BV for analysis of lead content by atomic spectroscopy. Whenever necessary, and possible, the paint was separated from any backing material such as paper, concrete, or wood.

Attachment 1 presents the analytical results.

SURVEY LIMITATIONS

The survey was conducted on April 27, 2021. This report reflects the observations, findings, and analysis of materials sampled during the survey. Analytical results quantify the sampled materials at the specific sample locations. Visually similar materials were referenced to specific analyzed samples.

Limited access to walls and ceilings was obtained for the investigation of insulation materials. The observations are based on the specific areas inspected.

The scope of the survey included mechanical equipment, structure, and finishes within the subject building.

The findings within this report do not reflect potential ACMs in areas not accessed, such as the flooded mechanical room in the southeast corner of the building and areas above drywall ceilings and walls.

RESULTS

The results of the survey for hazardous building materials in the subject building are presented following by material type. The complete analytical report is contained in **Attachment 1**. Sample locations are shown on drawings and photos provided in **Attachment 2**.

Asbestos

Seventeen (17) visually different samples of building materials were obtained and submitted for analysis of asbestos. All samples were found to be non-asbestos materials. A listing of the collected samples is presented below.

Flooring

1. Banquet Room Bar Area Floor Tile;
2. Laundry Room Floor Linoleum over Wood;
3. Pool Electrical Room 9x9 Floor Tile;
4. Kitchen Floor Tile; and
5. Holly's Checkered Floor Tile.

Ceiling Tiles and Coverings

1. Kitchen Walk In Cooler Ceiling;
2. Pool Chemical Room Ceiling Board; and
3. Basement Ceiling Tile.

Plaster Finished/Drywall Compound

1. Hallway Outside Sunroom Plaster Joint Compound; and
2. Sun Room – Laundry Room Back Entry Paint.

Insulation, Mechanical

1. Basement Boiler Room Pipe Elbow; and
2. Laundry Room Pipe Insulation.

Insulation, Wall

1. Front Entry Luggage Room Wall Insulation.

Wall Board

1. Kitchen Wall Board Water Resistant.

Roofing Materials

1. Center Roof;
2. Holly's Roof; and
3. East Roof.

Also, the interior cavities of the cinderblock walls were accessed in the northeast main floor guest room (exterior wall) and the chemical room in the pool area (interior). Both of these were found to be empty voids that did not contain any insulation.

Lead

Three (3) samples of typical paint finishes were collected from the building and analyzed for lead content. The results of this analysis were compared to the Surface Coating Materials Regulations, SOR/2016-193 guideline of 90 mg/kg. A listing of the three samples and location are as follows.

1.	Basement Network Room Lead Paint	Result	12.3 mg/kg	PASS
2.	Sun Room – Laundry Room Back Entry Paint	Result	<2.0 mg/kg	PASS
3.	Basement Storage Lead Paint Sample	Result	108 mg/kg	FAIL

The paint was found to be in poor condition and was blistered and peeling in many locations in the storage area outside of the network room. Based on these results, a management plan will need to be implemented based on the direction that the City of Yorkton takes with this building.

Polychlorinated Biphenyls (PCBs)

Inspection of the transformer in the electrical room outside the pool area confirmed that it is a dry-type, solid-state transformer and does not contain PCBs. Also, random inspections of several ballasts in the fluorescent lamp fixtures found that they were non-PCB-containing or electronic ballasts which are also non-PCB-containing.

Ozone-Depleting Substances (ODSs)2

Sources of ODSs observed on-site were limited to room-specific air conditioners, potential roof-top HVAC systems, refrigerators, and walk-in coolers. No ODS leak detection notices were posted on the equipment listed above at the time of the field reconnaissance. These items appeared to be in GOOD condition and properly maintained.

Depending on the direction the City of Yorkton takes with this building an evacuation and disposal plan will need to be implemented.

CLOSURE

This report has been prepared for the sole benefit of ATAL, for its intended purpose. The report may not be relied upon by any other person or entity without the express written consent of Hydrosphere and ATAL.

Any use that a third party makes of this report, or any reliance on decisions to be made based on it, are the responsibility of such third parties. Hydrosphere accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report. The conclusions presented represent the best judgment of the assessor based on current environmental standards. Due to the nature of the investigation and the limited data available, the assessor cannot warrant against undiscovered environmental liabilities.

Should additional information become available, Hydrosphere requests that this information be brought to our attention so that we may re-assess the conclusions presented herein.

We trust that the report meets your current requirements. Should you have any questions or concerns regarding the above, please do not hesitate to contact the undersigned.

Warm regards,

Troy Herring, AScT, EP(CEA), EP(EMSLA), CESA

PRINCIPAL CONSULTANT, HYDROSPHERE TECHNOLOGIES

Attach:

1. Analytical Reporting
2. Sample Locations

Attachment 7

110 Broadway Street E, Yorkton, Sk, Ramada Hotel

In regard to the above property address:

The following is a proposal to list and sell the property. RE/MAX Bridge City will require an exclusive listing for a 12 month term, the property will be listed for sale on Realtor.ca, remaxcommercial.com and open to offers from all real estate agents in Canada.

In the past 24 months RE/MAX Bridge City has submitted two offers when the property was held by Cornerstone Credit Union. RE/MAX Bridge City has 5 full time commercial agents with two being very familiar with the City of Yorkton.

1. Any Buyer would have an opportunity to demolish the structure if deemed necessary to fit their development. The Buyer would work in conjunction with the City of Yorkton to discuss the demolition, the removal of debris and successfully negotiate dump fees satisfactory to both parties.
2. Upon RE/MAX Bridge City being awarded the listing; RE/MAX Bridge City will work with their contacts in Appraisal and valuation of the property as it is, with environmental firms to determine the criteria to successfully sell the property.
3. An Exclusive in-house listing contract would be signed between the City of Yorkton and Re/MAX Bridge City Realty with a flat-rate fee payable to RE/MAX Bridge City Realty in the amount of $50,000 at possession date within the listing time period.

Jeff Chapple
chappleremax@gmail.com
www.jeffchapple.ca
Realtor®
(306) 740-7161
Commercial Specialist
RE/MAX Bridge City Realty

STAFF ONLY

ESTABLISHMENT
NDER VIDEO
VEILLANCE
L TIMES

Attachment 3

City of Yorkton

Box 400 · 37 Third Avenue North · Yorkton, Saskatchewan · S3N 2W3 · Phone 306-786-1700 · Fax 306-786-6880 · www.yorkton.ca

Invitation to Tender

Name of Tender: Former Ramada Hotel Demolition, 110 Broadway Ave E, Yorkton, Sk.

Close Time/Date: **2:00 p.m. C.S.T. on Friday, July 16, 2021**

Response Address:

City of Yorkton c/o Alton Tangedal Architect Ltd.
Suite 100 – 1170 8th Ave, Regina, Sk.
Email to:alton@atalarch.ca

Details:

The intent of this bid call is to obtain an offer to perform work to complete the demolition of the former Ramada Hotel, located at 110 Broadway Ave E, Yorkton, Sk., for a Stipulated Price contract, in accordance with the Contract Documents.

Tender documents are available at;
www.sasktenders.ca

Contact:

Alton Tangedal, Alton Tangedal Architect Ltd.,
Telephone: 306-789-0743
Email: alton@atalarch.ca

The City reserves the right to reject any or all tenders. Lowest tender is not necessarily accepted.

The City of Yorkton exclusively uses www.yorkton.ca and www.SaskTenders.ca to electronically advertise procurements. Other sites may not accurately represent the data as intended by the City of Yorkton, and are not vetted by the City of Yorkton.

City of Yorkton

REPORT TO COUNCIL

TITLE: **Discretionary Use - DU03-2021 Expansion of Existing Auto & Minor Recreation Sales & Rentals Use in C-1 City Centre Commercial Zoning District – 86 Seventh Avenue South** **Council Report #1 – Public Notice Authorization**	DATE OF MEETING: August 9, 2021 REPORT DATE: August 4, 2021
CLEARANCES: Michael Eger - Director of Planning, Building & Development Michael Eger	ATTACHMENTS: 1. Key Plan 2. Aerial View 3. Street Views 4. Summary of Discretionary Use Process 5. Public Notice
Written by: Carleen Koroluk - Planner	Carleen Koroluk
Reviewed by: Jessica Matsalla - City Clerk	Jessica Matsalla
Approved by: Lonnie Kaal – City Manager	Lonnie Kaal

Summary of History/Discussion:

This report is in response to a Development Permit application for the expansion of an existing Auto & Minor Recreation Sales & Rentals Use at 86 Seventh Avenue South (see Attachments 1, 2 & 3). The applicant proposes an interior expansion to the existing business by renovating and utilizing approximately 2,000 ft^2 previously occupied by a Professional Offices (Travel Agency) use.

It is unclear as to whether or not a development permit was issued for the motorcycle sales and service use, however a Building Permit for renovations required for the use was issued on December 31, 2002. At that time the use was subject to Zoning Bylaw No. 9/1996 and the property was zoned C3 General Commercial District, in which recreation vehicle sales and service was a permitted use.

With the adoption of Zoning Bylaw No 14/2003 in April 2003 (the current Zoning Bylaw), the subject lands were rezoned to C-1 City Centre Commercial, in which the use of Auto & Minor Recreation Sales & Rentals is listed as a Discretionary Use. As such, the use is now Legal Non-Conforming because it has not gone through the Discretionary Use process as required by the current bylaw. As the interior expansion proposes to increase the intensity of the now discretionary use, *The Planning and Development Act, 2007* requires Council authorization following the Discretionary Use Process (see Attachment 4).

Administrative Review:

Zoning Bylaw No. 14/2003 defines Auto & Minor Recreation Sales & Rentals as:

> "A development used for the retail sale or rental of new or used automobiles, motorcycles, snowmobiles, tent trailers, boats, travel trailers of similar light recreational vehicles or crafts, together with incidental maintenance services, sales of parts, automotive accessories, accessory recreational equipment and supplies. This use class typically includes, but is not limited to automobile dealerships, car rental agencies and motorcycle dealerships. This use class does not include dealerships for the sale or rental or exclusively trucks or exclusively motor homes with a gross vehicle rating of 4,000 kilograms or greater"

The applicant has recently amalgamated an existing snowmobile business previously located in a neighbouring rural municipality with the motorcycle business and may also be considering a physical expansion at some point in the future. The proposed interior expansion, while an increase in the intensity of use, does not affect the site as a whole because parking, landscaping and storm water management requirements have previously been implemented based on the overall building size. If a physical expansion is proposed in the future, a full review of the site will be performed and the proposal will once again be presented to Council.

Conclusion:

At this time, Administration would like to initiate the public notice process, including advertisement in the local newspaper, at City Hall and on the City website, and circulation to property owners within 75 m of the subject property. The proposed public notice is attached (see Attachment 5) for Council's consideration.

If authorization to proceed is granted, the application will also be referred to the Planning and Infrastructure Commission for their review and comments before it is brought back to Council for its review and final decision in conjunction with the Public Hearing.

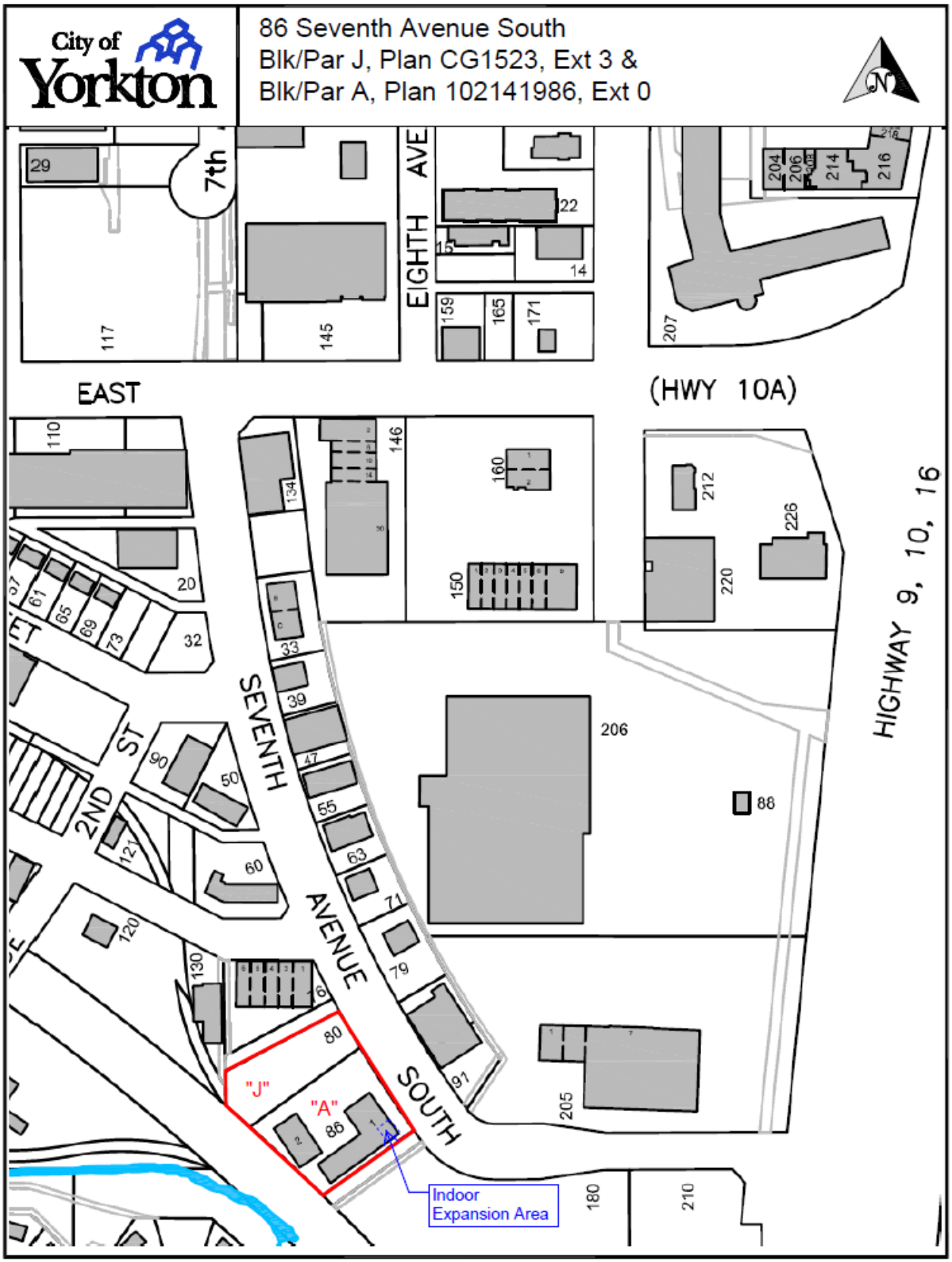
Council's Options:

1. That Administration be authorized to proceed with Public Notification for Discretionary Use application DU03-2021 which proposes an interior expansion of an existing Auto & Minor Recreation Sales & Rentals use as defined in City of Yorkton Zoning Bylaw No. 14/2003, at 86 Seventh Avenue South, legally described as Blk/Par J, Plan CG1523, Ext 3 and Blk/Par A, Plan 102141986, Ext 0, and that the application be brought back to Council for its review and decision.
2. That Public Notification for Discretionary Use application DU03-2021 which proposes an interior expansion of an existing Auto & Minor Recreation Sales & Rentals use as defined in City of Yorkton Zoning Bylaw No. 14/2003, at 86 Seventh Avenue South, legally described as Blk/Par J, Plan CG1523, Ext 3 and Blk/Par A, Plan 102141986, Ext 0, be denied for reasons as listed by Council;
3. That Administration be provided with alternative direction.

Administration's Recommendation:

1. That Administration be authorized to proceed with Public Notification for Discretionary Use application DU03-2021 which proposes an interior expansion of an existing Auto & Minor Recreation Sales & Rentals use as defined in City of Yorkton Zoning Bylaw No. 14/2003, at 86 Seventh Avenue South, legally described as Blk/Par J, Plan CG1523, Ext 3 and Blk/Par A, Plan 102141986, Ext 0, and that the application be brought back to Council for its review and decision.

Attachment 1 – Key Plan



Attachment 2 – Aerial View

Attachment 3 – Street Views

With previous travel agency located in left unit

Current Facade - Auto & Minor Recreation Sales & Rentals

Attachment 4 – Summary of Discretionary Use Process

Summary of Discretionary Use Application Process:

The Planning and Development Act, 2007 ('The Act') allows a zoning bylaw to contain provisions for "Permitted Uses" and "Discretionary Uses" within specified land use zones. Any use that is not listed as "Permitted" or "Discretionary" is considered prohibited. *The Act* allows "Permitted Uses" to be approved by Administration, however, "Discretionary Use" applications require the approval of a council and must follow *The Act's* prescribed process. The process includes the requirement of giving Public Notice to property owners within 75 metres (250 feet) of the subject property, as well as the provision of a Public Hearing.

Pursuant to *The Act*, a council shall exercise its discretion respecting a Discretionary Use application to:

(a) Reject the application;

(b) Approve the discretionary use in accordance with the provisions of the zoning bylaw;

(c) Approve the discretionary use subject to development standards or conditions in accordance with the zoning bylaw; or

(d) Approve the discretionary use for a limited time, if a time limit is authorized in the bylaw.

A council may approve a discretionary use if the facts presented establish that the proposed discretionary use will:

(a) Comply with provisions of the zoning bylaw respecting the use and intensity of use of land for the discretionary use;

(b) Be consistent with the criteria in the zoning bylaw respecting the use and intensity of use of land for the discretionary use;

(c) In the opinion of the council, be compatible with development in the district in the immediate area of the proposal; and

(d) Be consistent with provincial land use policies and statements of provincial interest.

In approving a discretionary use, a council may prescribe specific development standards or conditions with respect to that use, but only if those standards or conditions:

(a) Are based on and are consistent with general development standards or conditions made applicable to discretionary uses by the zoning bylaw; and

(b) Are, in the opinion of the council, necessary to secure the objectives of the zoning bylaw with respect to:

(i) The nature of the proposed site, including its size and shape and the proposed size, shape and arrangement of buildings;

(ii) The accessibility and traffic patterns for persons and vehicles, the type and volume of that traffic and the adequacy of proposed off-street parking and loading;

(iii) The safeguards afforded to minimize noxious or offensive emissions including noise, glare, dust and odour; or

(iv) Any treatment given, as determined by the council, to aspects including landscaping, screening, open spaces, parking and loading areas, lighting and signs, but not including the colour, texture or type of materials and architectural detail.

If an application for a discretionary use has been approved by a council with prescribed standards or conditions, the applicant may appeal to the Development Appeals Board, however a Discretionary Use application that is denied by a council may not be appealed.

Attachment 5 – Public Notice

Public Notice

Discretionary Use Application for Expansion of Existing Auto & Minor Recreation Sales & Rentals Use in C-1 City Centre Commercial Zoning District – 86 Seventh Avenue South

Legal Description: Blk/Par J, Plan CG1523, Ext 3 & Blk/Par A, Plan 102141986

Civic Address: 86 Seventh Avenue South

Proposed Use: Auto & Minor Recreation Sales & Rentals

Details: The applicant is an existing **Auto & Minor Recreation Sales & Rentals** use at the proposed location in the C-1 City Centre Commercial zoning district. The applicant proposes to expand the business by utilizing a 2,500 ft^2 existing indoor space previously occupied by a Professional Offices use. Auto & Minor Recreation Sales & Rentals uses within the C-1 City Centre Commercial zoning district are Discretionary Uses under Zoning Bylaw No. 14/2003 and must be publicly advertised before Council can make a decision on the application.

Information: You can also view this notice online at www.yorkton.ca under the News and Notices section on the home page. Questions regarding the application may be directed to:

Carleen Koroluk, Land Use Planner
Phone: (306) 786-1727
Email: ckoroluk@yorkton.ca

Public Hearing: City Council will hear all persons who are present and wish to speak to the application and all written submissions will be read verbatim unless the submitter is in attendance to speak on the submission, on **Monday, August 30, 2021 at 5:00 pm in City Hall Council Chambers, Yorkton, SK**.

If you wish to provide written comments for Council's consideration, they must be submitted by 9:00 a.m. on Thursday, August 26, 2021. Written submissions must be directed to:

Jessica Matsalla, Director of Legislation & Procedures
In Person: 37 Third Avenue North, Yorkton, SK
Via Mail: Box 400, Yorkton, SK S3N 2W3
Via Email: jmatsalla@yorkton.ca